

**PRIM AWLA TAL-QORTI CIVILI**

Fl-Atti tas-Subbasta nru. **1/2019**



Fl-Ismijiet  
*BNF Bank (Malta) p.l.c*  
C 41030  
Vs  
*Eve Farrugia*  
(ID 502475 M)

Data: L-Erbgha, 28 ta' Gunju 2023

*Relazzjoni tal-Perit Tekniku Marvin Ellul B.E&A (Hons) A & C.E.*

Li jesponi bir-rispett illi:-

**01. Inkarigu Tal-Esponent Perit Tekniku**

Permezz ta' notifika, minn din l-Onorabbli Qorti, ippreseduta mill-Onor Jacqueline Padovani Grima L.L.D.LL.M. (IMLI), u notifikata fil 15 ta' Jannar 2019, is-sottoskritt perit tekniku gie nkarigat sabiex jaghmel deskrizzjoni ta' zewg fondi hekk kif imsemmi hawn taht:

*Fond A - Dar li tinsab fl-indirizz ta' 25, Triq Castro, Naxxar.*

u

*Fond B - Appartament li jinsab internament immarkat bin-numru 6 fi blokka appartamenti bl-isem ta' 'Pryma Apartments' bil-bieb u faccata jaghtu ghal fuq Triq il-Ghabex, San Pawl il-Bahar.*

Hekk kif indikat fir-rikors tal-atturi, is-sottoskritt perit tekniku gie nkarigat ukoll sabiex ifisser il-pizijiet, kirjiet u jeddijiet ohra sew reali kemm personali, jekk ikun hemm, li ghalihom dan il-fond ikun suggett skont l-informazzjoni li jkun ha mill-kredituri jew debituri, u jaghmel stima taghhom fi zmien xahar mid-data tan-notifika.

Sabiex jaqdi fedelment dan l-inkarigu lilu mghoti, l-espert tekniku kien appunta access ghal 3 darbiet fi-2019 fejn kull darba avvza lill-partijiet b'ittri registrati. Dawn l-accessi kienu:

Access 1:

DATA:- It-Tnejn, 4 ta' Marzu, 2019

HIN :- 9:00am (fid-disgha ta' filghodu)

Access 2:

DATA:- It-Tnejn, 18 ta' Marzu, 2019

HIN :- 12:00 (f' nofsinhar)

Access 3:

DATA:- L-Erbgha, 17 ta' April, 2019

HIN :- 9:00am (fid-disgha ta' filghodu)

F'dawn id-dati msemmija l-intimata Eve Farrugia jew rapprezentati taghha qatt ma kienu prezenti u ghalhekk l-espert tekniku ma kellux mezz kif jaccedi fil-propjetajiet mertu ta' din is-Subbasta.

Wara li aktar kmieni din is-sena rega gie mitlub sabiex ikompli bl-inkarigu tieghu, l-espert tekniku rega appunta access iehor fuq is-sit mertu ta' din is-subbasta ghal nhar It-Tlieta, 28 ta' Marzu, 2023 fid-9:00am (fid-disgha ta' filghodu) u avvza lill-intimata Eve Farrugia permezz ta' 3 ittri registrati (Dok. A - 4), li ntbghatu f'indirizzi differenti li gew mghotija lilu kif ukoll baghat kopja ta' dan l-avviz lis-Socjeta Esponenti, BNF Bank (Malta) p.l.c fejn ukoll infurmahom bid-data u l-hin tal-access hekk kif indikat fl-istess ittra.

## **02. Preliminari**

Permezz ta' rikors ipprezentat fis-7 ta' Jannar 2019, ir-rikorrenti BNF Bank Malta p.l.c, talbu lil Onorabbli Qorti tordna l-hrug ta' Mandat ta' Qbid tal-propjeta mmobbli hawn fuq imsemmija u l-bejgh taghha bl-irkant fis-

Subbasta, biex bir-rikavat jigi sodisfatt il-kreditu li l-intimata kellha versu tagghom, inkluz il-procedura mehuda.

Il-fondi de-quo kienu gew marbuta b' ipoteki hekk kif indikat fir-rikors tal-Atturi bhala garanzija ghal hlas ta' debitu. Ghaldagstant il-Perit Tekniku wara li ghamel access fuq il-fondi msemmija ghamel l-istima tal-valuri tal-propjetajiet in kwistjoni ghall-fini ta' din is-Subbasta.

### **03. *Evalwazzjoni Fond A – Dar f'nru 25, fi Triq Castro, Naxxar***

#### **3.1 *Osservazzjonijiet***

L-espert tekniku ghamel access f' dan il-fond li qed jigi mmarkat bl-ahmar fuq is 'site plan' annessa ma' dan id-dokument u mmarkata bhala Dok. D, Pjanta tar-Registru tal-Artijiet mmarkata bhala Dok. E. u ghamel ukoll pjanti tieghu, liema pjanti saru sabiex jigi miftiehem ahjar it-tqassim u l-kobor tieghu u qed jigu wkoll annessi ma' dan id-dokument u mmarkati bhala Dok. F (F-1 sa F-6). Ittiehdu wkoll serje ta' 55 ritratt li qed jigu wkoll annessi ma' dan id-dokument u migbura f' Anness immarkat bhala Dok. G (Ritratti numri R-A01 sa R-A55).

#### **3.2 - *Deskrizzjoni***

Il-fond in kwistjoni, jikkonsisti f' dar pjuttost antika mqassma fuq zewg sulari, b'access dirett mit-triq, liema dar tinsab pjuttost qrib ic-centru u l-pjazza principali tan-Naxxar f' zona residenzjali antika.

Hekk kif wiehed jidhol fil-propjeta' mill-entratura principali jsib intrata mdaqqsqa u kemmxejn tawwalija li hija msaqqfa bix-xorok u t-travi. Minn din l-istess intrata fuq in-naha tal-lemin meta wiehed ihares mill-faccata, wiehed isib access ghal garaxx ta' karozza wahda, liema garaxx jinsab livell tat-triq u ghandu access dirett minn Triq Castro. Fuq wara ta' l-intrata wiehed isib access ghal kamra zghira fuq ix-xellug liema kamra tintuza bhala tojlit. Fuq wara tal-imsemmija intrata hemm bitha nterna kemmxejn kbira li hija msaqqfa bi struttura tal-hadid u hgieg. Minn din il-bitha, fuq in-

naha tal-lemin, wiehed isib zewg bibien separati li jaghtu access ghal kamra pjuttost kbira b' qisien ta' madwar 8.47m tul u wisa ta' madwar 3.00m li tintuza bhala kcina. Fil-bitha, fuq in-naha tax-xellug, hemm tarag li jwassal ghall-parti ta' quddiem tal-ewwel sular u l-ispazju ta' taht dan it-tarag jintuza bhala 'store'.

Fuq wara nett tal-bitha msemija hemm access ghal mithna pjuttost kbira li hija msaqqfa bix-xorok fuq erba' hnejjet kbar , liema kamra hija accessibli wkoll mill-kcina. Din il-mithna tintuza bhala salott/kamra tal-ikel u ghandha qisien ta' madwar 7.17m wisa' u tul ta' madwar 8.93m. Fuq in-naha tal-lemin ta' din il-mithna, meta wiehed ihares mill-faccata, hemm tarag tal-injam li jwassal ghall-ewwel sular.

Mill-mithna msemija, fuq wara nett hemm bieb kbir tal-hgieg li jwassal ghall-bitha kbira li hemm fuq wara, fejn hemm xi ftit sigar mizrughin mal-periferija taghha, filwaqt li fil-genb tal-lemin hemm ukoll garigor tal-hadid li jwassal ghall-garaxx li hemm fil-livell tal-basement. Dan il-garaxx li jinsab taht il-bitha, huwa pjuttost kbir u ghandu forma pjuttost irregolari. Dan jigi taht l-istess bitha tal-propjeta' hekk kif imsemija hawn fuq u facilment jakkomoda madwar erba' jew hames karozzi. Dan il-garaxx ghandu access minn komun ta' garaxxijiet ta' terzi, b'rampa li hija accessibli mill-istess triq li tinsab fija din il-propjeta'. Fil-prezent dan l-access jinsab imbarrat permezz ta' hajt tal-briks u ghalhekk dan il-basement mhux qed jintuza ghall-ipparkjar ta' vetturi.

Hekk kif jitla' fl-ewwel sular mit-tarag li hemm fil-bitha nterna li tinsab fuq in-naha ta' quddiem, wiehed isib pjan imdaqqs quddiemu fejn hemm access ghal kamra tas-sodda b' qisien ta' madwar 5.75m u fond ta' madwar 2.9 metri, liema kamra hija msaqqfa bit-travi tal-injam u xorok u tigi fuq il-faccata ta' din il-propjeta. Din il-kamra ghandha wkoll gallarija bi lqugh tal-hadid li taghti ghal fuq it-triq principali. Mill-pjan hawn fuq imsemmi, fuq in-naha tal-lemin tal-faccata hemm access ghal dahla maghluqa li minnha hemm access ghal kamra tal-banju zghira u access iehor ghal kamra tas-sodda kbira li hija wkoll imsaqqfa bit-travi tal-injam u x-xorok.



Fuq wara ta' din il-kamra tas-sodda, wiehed isib bieb li jwassal ghal fuq it-tarag tal-injam imsemmi hawn fuq, liema tarag jibda mill-livell tal-pjan terren mill-mithna u jibqa tiela' ghall-ewwel sular fuq l-istess mithna. Fl-ewwel sular fuq il-mithna, wiehed isib access ghal pjan li jaghti ghal kamra tal-hasil kbira u tawwalija quddiemu. Fuq in-naha tax-xellug tal-pjan hemm dahla minn fejn wiehed jidhol ghal kamra tas-sodda kbira li ghandha wkoll 'walk-in wardrobe' imdaqqa, u kif ukoll kamra tal-banju mdaqqa maghha. F' din il-kamra tal-banju hemm ukoll gallarija zghira li taghti ghal fuq il-bitha nterna, filwaqt li fuq wara tal-kamra tas-sodda hemm terrazzin, imdaqqa li jaghti ghal fuq il-bitha li hemm fuq in-naha ta' wara ta' din il-propjeta'.

Din id-dar ghandha wkoll l-arja taghha pero m' ghandhiex access ghal-livell tal-bejt b' mod permanenti bhal tarag.

### ***3.3 – Kundizzjoni***

Din il-propjeta' li hija lesta u kompluta b'kollox, ghandha s-servizzi tad-drenagg, dawl u ilma u hija mibnija b'hitan tal-gebel antik. Il-maggor parti tas-soqfa, speċjalment dawk li jinsabu fl-ewwel sular huma msaqqfa bix-xorok u t-travi tal-injam, filwaqt li l-mithna hija msaqqfa bi hnejjiet kbar antiki u xorok fuqhom. Il-madum huwa tac-ceramika, l-aperturi ta' barra tal-injam u gallarijiet tal-hadid.

Il-bini u l-kundizzjoni ta' l-istruttura ta' dan il-fond jinsabu fi stat generalment tajjeb u ma jidhrix li fihom xi difetti u anqas jidher li hem xi hsarat strutturali.

### ***3.4 - Potenzjal ta' zvilupp u kunsiderazzjonijiet ohra***

L-akkomodazzjoni ta' dan il-fond hija hekk kif deskritta hawn fuq, jigifieri ta' zewg sulari abitabbli, bitha kbira u spazji ghal parkegg ta' madwar sitt karozzi f'zewg garaxxijiet (dak tal-livell tal-basement temporanjament

maghluq). Dan il-fond jinsab f'zona ta' Konservazzjoni Urbana hekk kif indikat fi Pjanta NAM7 tal-Pjan Lokali Tac-Centru Ta' Malta (REF Dok. I) u għaldaqstant tinsab f'zona ta' zvilupp ta' zewg sulari hekk kif muri wkoll fil-estratt mill-istess pjanta (Dok. I - Fig. I - A02 u Fig. I - A03).

Skont kif gie rivedut l-għoli tal-bini fid-dokument Development Control Design Policy Guidance and Standards 2015, u skont id-dokument Strategic Plan for the Environment and Development (SPED), din il-propjeta' tista' tigi zviluppata sa l-għoli li huwa predominanti fit-triq li f'dan il-kaz jistghu jsarrfu f'bini ta' madwar 2 sulari. Għalhekk din il-propjeta m'għandhiex potenzjal ta' zvilupp ulterjuri.

L-ahhar permess li nhareg fuq is-sit imsemmi u li jkopri l-bini tal-fond imsemmi u tal-garaxx huwa RG 2126/17, liema permess gie approvat fl-4 t' April 2018 hekk kif indikat f' anness Dok. H. B'dan il-permess il-bini ezistenti mertu ta' din is-subbasta gie rregolarizzat hekk kif jinsab fl-istat prezenti minhabba li dan kellu diversi differenzi mill-permess approvat fl-2004 u sahsitra kellu l-bitha nterna msaqqfa bi struttura tal-hadid u hgieg. Il-Kopja tal-permess flimkien mal-pjanti approvati qed jigu annessi ma dan id-dokument Dok. H bhala Dok. H-1 sa Dok. H-6

Għaldaqstant mill-access li s-sottoskritt perit tekniku għamel f'dan il-fond ikkonferma li dan il-fond fil-prezent għadu konformi ma' dan l-ahhar permess mahrug.

### **3.5 - Valur**

Wara li l-Espert Tekniku ha in konsiderazzjoni diversi fatturi fosthom il-kobor ta' dan il-fond flimkien ma' fatturi ohra bhal lokazzjoni, stat tal-bini, is-sitwazzjoni generali tas-suq fil-mument prezenti kif ukoll tal-potenzjal ta' zvilupp, iqis li dan il-fond fi stat liberu u frank għandu jgib il-valur ta' **€1,130,000 (miljun, mija u tletin elf Ewro) libera u franka.**

#### *04. Evalwazzjoni Fond B - Appartamento internament bin-numru 6 fi blokka appartamenti bl-isem 'Prysm Apartments' bil-bieb u faccata jaghtu ghal fuq Triq il-Ghabex, San Pawl il-Bahar*

##### *4.1 Osservazzjonijiet*

L-espert tekniku ghamel access f' dan il-fond li qed jigi mmarkat bl-ahmar fuq is 'site plan' annessa ma' dan id-dokument u mmarkata bhala Dok. J, Pjanta tar-Registru tal-Artijiet mmarkata bhala Dok. K. u ghamel ukoll pjanta tieghu, liema pjanta saret sabiex jigi miftiehem ahjar it-tqassim u l-kobor tieghu u qed tigi wkoll annessa ma' dan id-dokument u mmarkata bhala Dok. L. Ittiehdu wkoll serje ta' 24 ritratt li qed jigu wkoll annessi ma' dan id-dokument u migbura f' anness immarkat bhala Dok. M (Ritratti numri R-B01 sa R-B24).

##### *4.2 Deskrizzjoni*

Il-fond in kwistjoni, jikkonsisti f' appartamento f'livell 3 u ghalhekk fit-tielet sular (il-pjan terren meqjus bhala livell 0) fi blokka t'appartamenti bl-isem ta' 'Prysm Apartments' li ghandu d-dritt ta' uzu perpetwu tal-partijiet u s-servizzi komuni tal-blokka.

Dan l-appartement jinsab lokat f'zona residenzjali fuq in-naha ta' barra ta' San Pawl il-Bahar u huwa mibni fuq art b'kejl superficjali totali ta' madwar 104 metri kwadri. Dan l-appartement li ghandu l-bieb u l-faccata jaghtu ghal fuq Triq il-Ghabex, San Pawl il-Bahar. (Ritratti f' dok M numri R-B01 sa R-B02), ghandu kejl superficjali intern ta' madwar 75 metru kwadru, filwaqt li l-kejl superficjali kumplessiv biz-zoni esterni li huma accessibli huwa ta' madwar 79 metru kwadru. Il-faccata li taghti ghat-triq imsemmija fiha wisa' ta' madwar 7.20m u l-gholi intern ta' dan il-fond huwa ta' madwar 2.82m.

L-entratura ghal dan l-appartament hija minn komun li b'access mit triq mill-pjan terren fejn hemm ukoll lift. Kif jidhol mill-entratura f'dan l-appartament wiehed isib 'open plan' imdaqqsas b'kejl ta' madwar 3.40m wisa' b'tul ta' cirka 7.50m fejn hemm kcina/salott/kamra tal-ikel. Minn dan l-'open plan' li ghandu gallarija li taghti ghal fuq it-triq principali hemm access ghal kamra tas-sodda mdaqqsas li tinsab fuq ix-xellug tal-faccata, liema kamra ghandha kejl ta' madwar 3.36m wisa' b'tul ta' 4.52m u ghandha wkoll tieqa fuq il-faccata li tigi ghat-triq principali.

Fuq wara tal-'open plan' hemm kuritur qasir b'kejl ta' cirka 0.98m wisa' b'tul ta' 2.03m li jaghti access ghall-kmamar fuq iz-zewg nahat tieghu. Minn dan il-kuritur fuq in-naha tax-xellug tal-faccata hemm access ghal kamra tal-banju b'kejl ta' cirka 2.16m wisa' b'tul ta' 2.03m li ghandha tieqa taghti ghal xaft zghir. Minn l-istess kuritur fuq in-naha tal-lemin tal-faccata hemm access ghal kamra zghira b'kejl ta' cirka 1.10m wisa' b'tul ta' madwar 2.03m li tintuza bhala 'box room'. Fuq wara nett tal-kuritur imsemmi hemm access ghal kamra tas-sodda mdaqqsas b'kejl li jvarja minn madwar 3.28m wisa' fuq quddiem ghal 2.51m fuq wara, b'tul ta' madwar 5.27m. Minn din il-kamra tas-sodda fuq wara nett hemm access ghal terrazzin imdaqqsas b'kejl ta' madwar 4.17m wisa' b'fond ta' madwar 0.74m.

### **4.3 Kundizzjoni**

Din il-propjeta' li hija lesta u ghandha s-servizzi tad-drenagg, dawl u ilma hija mibnija b'hitan tal-briks u soqfa tal-konkos. Din il-propjeta' ghanda wkoll il-hitan li huma miksjija u mizbugha, madum tac-ceramika hlief il-kamra tas-sodda ta' wara li ghandha parquet minflok madum, l-aperturi ta' barra tal-aluminjum u l-aperturi ta' gewwa li huma tal-injam mastizz.

Il-Bini u l-kundizzjoni ta' l-istruttura ta' dan il-fond jinsabu fi stat generalment tajjeb u ma jidhirx li fihom xi hserat.

#### 4.4 Potenzjal ta' zvilupp u kunsiderazzjonijiet ohra

L-akkomodazzjoni ta' dan l-appartament hija dik deskritta hawn fuq, jgifieri zewg kmamar tas-sodda, kcina kamra tal-ikel u salott, kamra tal-banju u kamra zghira ohra f' sular wiehed. Skond il-Pjan Lokali 'North West Local Plan' din iz-zona ta' San Pawl il-Bahar hija skedata ghal Zvilupp ta' hames sulari. (Ref Dok. O Fig. O-B01 sa Fig. O-B03), minkejja dan il-fond ghandu restrizzjonijiet ta' zvilupp minhabba li huwa kemm sottopost kif ukoll sovrappost propjeta ta' terzi u dan l-appartament m'ghandux dritt ta' uzu tal-bejt. L-ahhar permess li nhareg ghal din il-propjeta u li jkopri l-bini tal-fond imsemmi huwa PA0337/10, liema permess gie approvat fil-25 ta' Novembru 2010. (ref Dok. N). Il-permess komplut qed jigi riprodott bhala Dok N-1 sa Dok. N-6

#### 4.5 Valur

Wara li l-Espert Tekniku ha in konsiderazzjoni diversi fatturi fosthom il-kobor ta' dan il-fond flimkien ma' fatturi ohra bhal lokazzjoni, stat tal-bini, is-sitwazzjoni generali tas-suq fil-mument prezenti kif ukoll tal-potenzjal ta' zvilupp, iqis li dan il-fond fi stat liberu u frank ghandu jgib il-valur ta' **€205,000 (mitejn u hames t' elef Ewro) liberu u frank.**

Tant ghandu l-unur jirrelata l-esponent ghas-savju gudizzju ta' din l-Onorabbli Qorti.

GRATI TAL-GUSTIZZJA - MALT  
IFFIRMATA U NIAFLUFA QUDD

ILLUM 08<sup>ta</sup> Anissu 1/2

Geoffrey Azzopina  
Deputat Registrar  
Deputy Registrar  
Grati tal-Gustizzja (Malta)  
Law Courts (Malta)

18 JUL 2023

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Perit Marvin Ellul

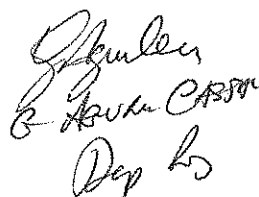
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PERIT MARVIN ELLUL

Perit Tekniku (Warrant No. 402)

2, Norton Mansions,  
Triq Ta' L-Iklin, Hal-Ghaxaq.

Data: 12/7/2023

  
Dep LS

## Appendici Tal-Annessi:

### **Subbasta 1/19**

Fl-Ismijiet

*BNF Bank (Malta) p.l.c*

*C 41030*

Vs

*Eve Farrugia*

*(ID 502475 M)*

L-Erbgha, 5 ta' Lulju 2023

**Dok. A**

Ittri Ta' Notifika

**Dok. B**

Ircevuti Postali

**Dok C**

Verbali Tal-Accessi

**Dok. D**

Site Plan – Propjeta' A

*Dar f' nru 25, Triq Castro, Naxxar*

**Dok. E**

Land Registry Site Plan – Propjeta' A

*Dar f' nru 25, Triq Castro, Naxxar*

**Dok. F**

Pjanti – Propjeta' A

*Dar f' nru 25, Triq Castro, Naxxar*

**Dok. G**

Ritratti – Propjeta' A

*Dar f' nru 25, Triq Castro, Naxxar*

**Dok. H**

Permessi – Propjeta' A

*Dar f' nru 25, Triq Castro, Naxxar*

**Dok. I**

Estratti mill-Pjan Lokali – Propjeta' A

*Dar f' nru 25, Triq Castro, Naxxar*

**Dok. J**

Site Plan – Propjeta' B

*Appartament 6, 'Prysm Apartments', Triq il-Ghabex, San Pawl il-Bahar*

**Dok. K**

Land Registry Site Plan – Propjeta' B

*Appartament 6, 'Prysm Apartments', Triq il-Ghabex, San Pawl il-Bahar*

**Dok. L**

Pjanti – Propjeta' B

*Appartament 6, 'Prysm Apartments', Triq il-Ghabex, San Pawl il-Bahar*

**Dok. M**

Ritratti – Propjeta' B

*Appartament 6, 'Prysm Apartments', Triq il-Ghabex, San Pawl il-Bahar*

**Dok. N**

Permessi – Propjeta' B

*Appartament 6, 'Prysm Apartments', Triq il-Ghabex, San Pawl il-Bahar*

**Dok. O**

Estratti mill-Pjan Lokali – Propjeta' B

*Appartament 6, 'Prysm Apartments', Triq il-Ghabex, San Pawl il-Bahar*

**Dok. P**

Schedule 8 taz-zewg propjetajiet



**PERIT MARVIN ELLUL**

*B.E. & A. (HONS.); A. & C. E.*

**ARCHITECT AND CIVIL ENGINEER**

2, 'NORTON MANSIONS', TRIQ L-ILKLIN, HAL-GHAXAQ. GXQ 2053

TEL: 21654041

MOB: 7949 0514

e-mail: peritmellul@yahoo.com

Our Ref.: ME 19017

Your Ref: .

It-Tnejn, 18 ta' Frar 2019

**FIL-PRIM AWLA TAL-QORTI CIVILI**

**Subbasta 1/2019**

*BNF Bank p.l.c.*

*C 41030*

*Vs*

*Eve Farrugia*

*502475M*

**BIL-POSTA**

**NOTIFIKA TA' ACCESS**

Bhala l-Perit Tekniku mahtur mill-Qorti Civili Ta' Malta b'digriet tal-15 ta' Jannar 2019 sabiex naghmel stima ta' zewg fondi, mertu ta' dan il-bejgh b'subbasta, qieghed navvzakhom illi ser isir access hekk kif indikat :-

**DATA:- It-Tnejn, 4 ta' Marzu, 2019**

**HIN :- 9:00am (fid-disgha ta' filghodu)**

**POST: - Dar numru 25, fi Triq Castro Naxxar**

Wara (f' xi l-10:30a.m.) jsir ukoll access fil-propjeta Apt.6, Prysma Apartments, Triq L-Ghabex, San Pawl il-Bahar.

**Niltaqghu quddiem il-post imsemmi hawn fuq jigifieri fid-9:00 fi Triq Castro, In-Naxxar.**

Nitlobkom tavzaw lill avukati taghkom u f'kaz ta' diffikulta nitlobkom tinfirmawni billi tikkuntattjawni fuq in-numri hawn fuq imsemmija jew bil-posta.

Perit Marvin Ellul

Esponenti: *BNF Bank p.l.c.*

*203, Level 2, Rue D'Argens, Gzira.*

Intimati: *Eve Farrugia,*

*25, Triq Castro, in-Naxxar.*

**PERIT MARVIN ELLUL**

*B.E. & A. (HONS.); A. & C. E.*

**ARCHITECT AND CIVIL ENGINEER**

*2, 'NORTON MANSIONS', TRIQ L-ILKIN, HAL-GHAXAQ. GXQ 2053*

*TEL: 21654041*

*MOB: 7949 0514*

*e-mail: peritmellul@yahoo.com*

Our Ref.: ME 19017

Your Ref: .

L-Erbgħa, 6 ta' Marzu 2019

**FIL-PRIM AWLA TAL-QORTI CIVILI**

***Fl-Atti tas-Subbasta 1/2019***

*BNF Bank p.l.c.*

*C 41030*

*Vs*

*Eve Farrugia*

*502475M*

**BIL-POSTA**

**NOTIFIKA TA' ACCESS – IT-TIENI AVVIZ**

Bħala l-Perit Tekniku mahtur mill-Qorti Civili Ta' Malta b'digriet tal-15 ta' Jannar 2019 sabiex naghmel stima ta' zewg fondi, mertu ta' dan il-bejgh b'subbasta, qieghed navvzakhom **GHAT-TIENI DARBA** illi ser isir access hekk kif indikat:-

**DATA:- It-Tnejn, 18 ta' Marzu, 2019**

**HIN :- 12:00 (f' nofsinhar)**

**POST: - Dar numru 25, fi Triq Castro Naxxar**

**Wara (f' xi l-13:30) jsir ukoll access fil-propjeta Apt.6, Prysma Apartments, Triq L-Għabex, San Pawl il-Baħar.**

**Niltagħhu quddiem il-post imsemmi hawn fuq jgifieri f' 12:00 quddiem dar nru 25, fi Triq Castro, In-Naxxar.**

Nitlobkom tavgaw lill avukati tagħkom u f'kaz ta' diffikulta nitlobkom tinfirmawni billi tikkuntattjawni fuq in-numri hawn fuq imsemmija jew bil-posta. Fin-nuqqas li l-perit Tekniku hawn taht iffirmat jibqa ma jingħatax access fid-data msemmija, ser ikollu jintalab access bl-isgass permezz ta' rikors quddiem il-Qorti Civili ta' Malta.

Perit Marvin Ellul

Esponenti: *BNF Bank p.l.c.*

*203, Level 2, Rue D'Argens, Gzira.*

Intimati: *Eve Farrugia,*

*25, Triq Castro, in-Naxxar.*

**PERIT MARVIN ELLUL**

*B.E. & A. (HONS.); A. & C. E.  
ARCHITECT AND CIVIL ENGINEER*

*2, 'NORTON MANSIONS', TRIQ L-IKLIN, HAL-GHAXAQ. GXQ 2053*

*TEL: 21654041*

*MOB: 7949 0514*

*e-mail: peritmellul@yahoo.com*

Our Ref.: ME 19017 - 3

L-Erbgħa, 20 ta' Marzu 2019

Your Ref: .

**FIL-PRIM AWLA TAL-QORTI CIVILI**

**Subbasta 1/2019**

*BNF Bank p.l.c.*

*C 41030*

*Vs*

*Eve Farrugia*

*502475M*

**BIL-POSTA**

**NOTIFIKA TA' ACCESS - IT-TIELET U L-AHHAR AVVIZ**

Bhala l-Perit Tekniku mahtur mill-Qorti Civili Ta' Malta b'digriet tal-15 ta' Jannar 2019 sabiex nagħmel stima ta' zewg fondi, mertu ta' dan il-bejgh b'subbasta, qieghed navvzakhom illi ser isir access hekk kif indikat :-

**DATA:- L-Erbgħa, 17 ta' April, 2019**

**HIN :- 9:00am (fid-disgħa ta' filghodu)**

**POST: - Dar numru 25, fi Triq Castro, Naxxar**

Wara (f' xi l-10:30a.m.) isir ukoll access fil-propjeta Apt.6, Prysma Apartments, Triq L-Għabex, San Pawl il-Bahar.

**Niltagħgu quddiem il-post imsemmi hawn fuq jgifieri fid-9:00 fi Triq Castro, In-Naxxar.**

Nitlobkom tawzaw lill avukati tagħkom u f'kaz ta' diffikulta nitlobkom tinfirmawni billi tikkuntattjawni fuq in-numri hawn fuq imsemmija jew bil-posta.

Perit Marvin Ellul

Esponenti: *BNF Bank p.l.c.*

*203, Level 2, Rue D'Argens, Gzira.*

Intimati: *Eve Farrugia,*

*25, Triq Castro, in-Naxxar.*

**PERIT MARVIN ELLUL****B.E. & A. (HONS.); A. & C. E.****ARCHITECT AND CIVIL ENGINEER**

2, 'NORTON MANSIONS', TRIQ L-ILKIN, HAL-GHAXAQ. GXQ 2053

TEL: 21654041

MOB: 7949 0514

e-mail: peritmellul@yahoo.com

Our Ref.: ME 19017

Your Ref: .

It-Tnejn, 13 ta' Marzu 2023

**FIL-PRIM AWLA TAL-QORTI CIVILI****Subbasta 1/2019**

BNF Bank p.l.c.

C 41030

Vs

Eve Farrugia

502475M

**BIL-POSTA****NOTIFIKA TA' ACCESS**

Bhala l-Perit Tekniku mahtur mill-Qorti Civili Ta' Malta b'digriet tal-15 ta' Jannar 2019 sabiex naghmel stima ta' zewg fondi, mertu ta' dan il-bejgh b'subbasta, qieghed navzakhom illi ser isir access hekk kif indikat :-

**DATA:- It-Tlieta, 28 ta' Marzu, 2023****HIN :- 9:00am (fid-disgha ta' filghodu)****POST: - Dar numru 25, fi Triq Castro Naxxar**


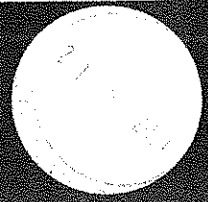
Wara (f' xi l-10:30a.m.) jsir ukoll access fil-propjeta Apt.6, Prysma Apartments, Triq L-Ghabex, San Pawl il-Bahar.


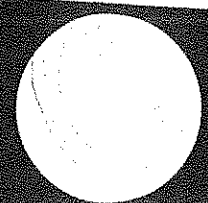
**Niltagghu guddiem il-post imsemmi hawn fuq jigifieri fid-9:00 fi Triq Castro, In-Naxxar.**

Nitlobkom tavgaw lill avukati taghkom u f'kaz ta' diffikulta nitlobkom tinfirmawni billi tikkuntattjawni fuq in-numri hawn fuq imsemmija jew bil-posta.

Perit Marvin Ellul

Esponenti: *BNF Bank p.l.c.**Credit Recovery Unit, Commercial - Credit Recovery Office, 12, Constitution Street, Mosta, MST9059,*Intimati: *Eve Farrugia,  
Daniel Farrugia**25, Triq Castro, in-Naxxar.  
Huddersfield, Kananea Street, Attard  
25, Triq Castro, in-Naxxar.*

malta post  
**REGISTERED MAIL**  
 RR408049561MT  
  
 Sent to:  
 E Farugia  
 naxos  


malta post  
**REGISTERED MAIL**  
 RR408049439MT  
  
 Sent to:  
 BnF Bank  
 Liza  


\*\*\*\*\*

MARCHAM S STATIONERY  
 WISA BIR ID DEHEB  
 GHAXAQ  
 TEL: 21807508  
 REG: MT16321007

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 STAMPS 2.26 E  
 STAMPS 2.26 E  
 STAMPS 2.26 E  
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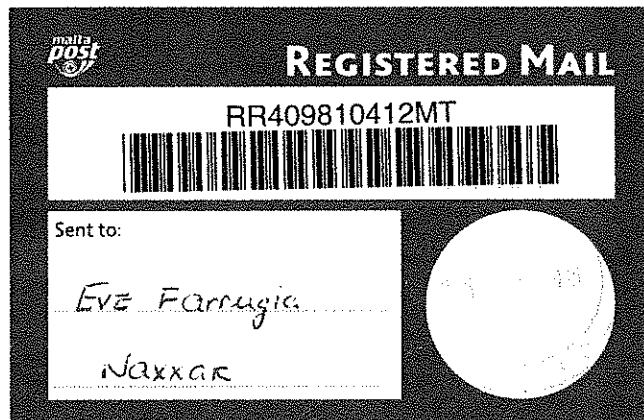
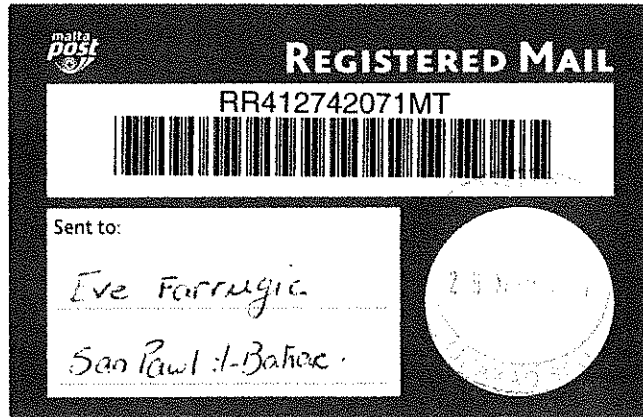
TOTAL 6.78  
 CASH 6.78  
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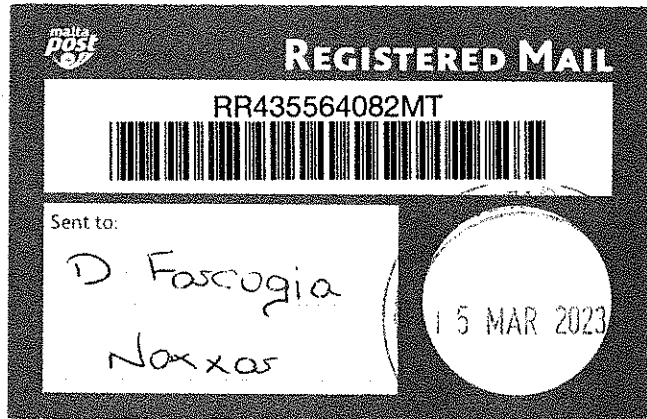
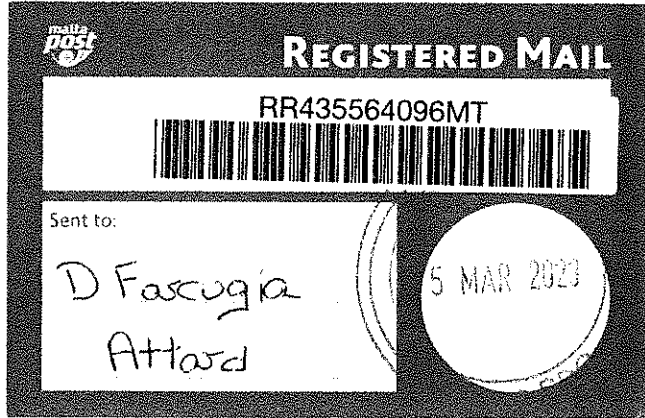
SUBTOTAL E 6.78  
 SUM EXC. VAT 6.78  
 OPERATOR: OPERAT01  
 2019-02-22 12:15:54 F099743  
 #00037097

GM KG 0012100073

THANK YOU FOR YOUR CUSTOM  
 PLEASE CALL AGAIN

\*\*\*\*\*





GRU

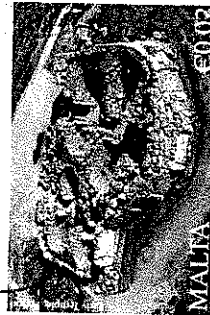


WE REGRET THIS ITEM WAS UNDELIVERED FOR REASONS STATED BELOW

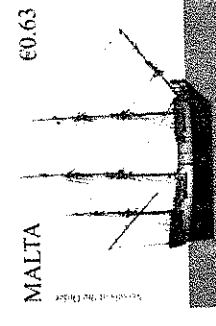
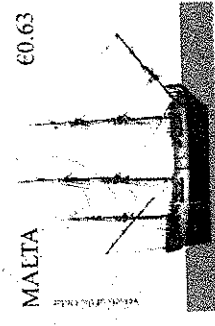
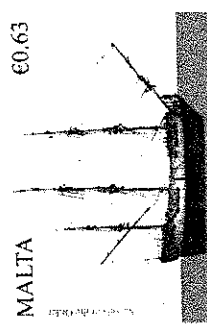
- Unknown
- Incomplete
- Gone away
- Demanded
- Insufficient address
- Address Incomplete
- Refused
- Undelivered
- Non Recipient

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

Ms. EVE FARRUGIA  
25, TRIO CASIRO  
NAXXAR.



A1 A1 A1



ITTRA RITORNATA.



ITTRA RITORNATA -

1673

16/03/23

173



CNT5

WE REGRET THIS ITEM WAS UNDELIVERED FOR REASONS STATED BELOW

- Unknown
- Incorrect
- Gone away
- Damaged
- Insufficient address
- No message in hand
- Refused
- Refuse
- Unclaimed
- No Redelivery

Mr. DANIEL SIG. FABRUGIA

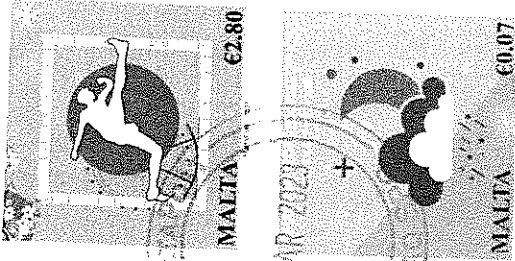
WUDDERSFIELD

WAWANEA STREET

ATTN:

DATE

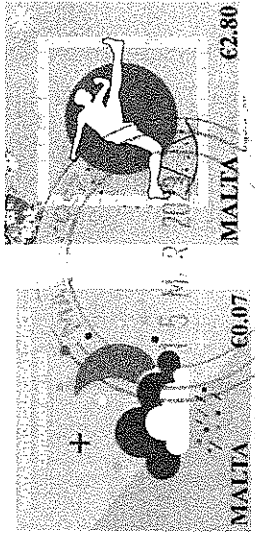
16/03/23



RR435564096MT

Customer's Signature and ID.

Fa uku



**DB**  
180999  
16/3  
180999  
180999

**malta post**  
WE REGRET THIS ITEM WAS UNDELIVERED  
FOR REASONS STATED BELOW:

- Unknown
- Inconnu
- Gone away
- Deménagement
- Insufficient address
- Adresse Insuffisante
- Refused
- Rejeté
- Unclaimed
- Non Réclamé

SIGNATURE: Mr. DANIEL FABRIZIO  
DATE: 18/5/23  
25, TRIO CASTRO  
NAXXAR



RR435564082MT  
Customer's Signature and ID.

ITTRA RITORNATA.

Marvin Ellul  
2, Norton Mansions,  
Triq Tal-Iklin  
Ghaxaq  
GXQ 2053  
Malta

**Cash Sale**

14/07/2023

312508E

No of Copies	1
Fee Per Site Plan	€6.00
-----	
Total	€6.00
-----	

Land Registration Agency  
116, Casa Bolino  
Triq il-Punent  
Il-Belt Valletta  
VLT 1535

Tel: +356 21239777, 25904700

Email: [enquirieslandregistry@gov.mt](mailto:enquirieslandregistry@gov.mt)[www.landregistryplans.gov.mt](http://www.landregistryplans.gov.mt)

Marvin Ellul  
2, Norton Mansions,  
Triq L-Iklin,  
Ghaxaq  
GXQ 2053  
Malta

**Cash Sale**

14/07/2023

312509E

No of Copies	1
Fee Per Site Plan	€6.00
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Total	€6.00
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Land Registration Agency  
116, Casa Bolino  
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Tel: +356 21239777, 25904700

Email: [enquirieslandregistry@gov.mt](mailto:enquirieslandregistry@gov.mt)[www.landregistryplans.gov.mt](http://www.landregistryplans.gov.mt)

Fl-Atti tas-Subbasta Nru Subbasta 1/2019

fl-ismijiet

BNF Bank p.l.c.

C 41030

Vs

Eve Farrugia

502475M

**Traskrizzjoni tal-verbal ta' l-Accessi- 04/03/2019**

**Access numru 1** – miftiehem ghad 9:00 ta' filghodu nhar It-Tnejn 4 ta' Marzu 2019 f' Nru 25, Triq Castro, Naxxar u wara fl-10:30a.m. access fil-propjeta **Apt.6, Pryma Apartments, Triq L-Ghabex, San Pawl il-Bahar.**

Prezenti ghall-atturi	- hadd
Prezenti ghar-rikorrenti	– Mr. Alfred Ferrante (ID138161M) ghan-nom ta' BNF Bank
Prezenti Ohra	– hadd

Il-perit tekniku wasal fuq il-post hekk kif notifikat lill partijiet fid-8:10 ta' filghodu.

Is-sottoskritt Perit Tekniku baqa jstenna fuq il-post ghal madwar siegha sa xi l-10:00 ta' filghodu pero minhabba li hadd mill-atturi ma prezenta ruhu u minhabba li ma inghatax access ghall-ewwel propjeta informa lir-raprezentant tar-rikorrenti li xorta kien se jmur fit-tieni propjeta' li tinsab San Pawl il-Bahar.

Fl-10:30 il-Perit tekniku kien San Pawl il-Bahar quddiem il-propjeta mertu ta' din is-Subbasta fejn ukoll stenna ghal madwar 40 minuta u baqa ma inghatax access ghal din il-propjeta. Hadd ma kien prezenti ghan-nom tal-atturi.

Fl-Att tas-Subbasta Nru Subbasta 1/2019

fl-ismijiet

BNF Bank p.l.c.

C 41030

Vs

Eve Farrugia

502475M

**Traskrizzjoni tal-verbal ta' l-Accessi– 18/03/2019**

**Access numru 2 – miftiehem ghal 12:00 (nofs-in-nhar) nhar It-Tnejn, 18 ta' Marzu, 2019 f' Nru 25, Triq Castro, Naxxar u wara fis 1:30pm. access fil-propjeta Apt.6, Prysma Apartments, Triq L-Ghabex, San Pawl il-Bahar.**

Prezenti ghall-atturi	- hadd
Prezenti ghar-rikorrenti	– Mr. Alfred Ferrante (ID138161M) ghan-nom ta' BNF Bank
Prezenti Ohra	– hadd

Il-perit tekniku wasal fuq il-post notifikat lill partijiet f' 12:00.

Ghat-tieni darba, s-sottoskritt Perit Tekniku flimkien ma raprezentant tal-Bank BNF baqghu jistennew fuq il-post ghal madwar 40 minuta u ghal habta ta xi s-12:50 minhabba li ma tfaccatx la l-attrici s-Sinjura Farrugia u lanqas raprezentant taghha, u ghalhekk ma inghatax access ghall-propjeta li tinsab f' Nru 25, fi Triq Castro Naxxar, Il-Perit Tekniku informa lir-raprezentant tar-rikorrenti li xorta kien se jerga jmur fit-tieni propjeta' li tinsab San Pawl il-Bahar.

Mal-wasla fuq il-post f' San Pawl il-Bahar f'xi s-1:20 ta' wara nofs-in-nhar. il-Perit tekniku ghamel diversi tentattivi permezz ta tahbit fuq il-bieb tal-imsemmija propjeta' u ghalkemm dam fuq il-post ghal ,madwar 30 minuta wara l-hin miftiehem xorta baqa' ma inghatax access ghal din il-propjeta. Hadd ma kien prezenti ghan-nom tal-atturi.

Fl-Atti tas-Subbasta Nru Subbasta 1/2019

fl-ismijiet

BNF Bank p.l.c.

C 41030

Vs

Eve Farrugia

502475M

**Traskrizzjoni tal-verbal ta' l-Accessi – 17/04/2019**

**Access numru 3** – miftiehem ghad 9:00 ta' filghodu nhar L-Erbgha, 17 ta' April, 2019 f' Nru 25, Triq Castro, Naxxar u wara fi-10:30 access fil-propjeta **Apt.6, Prysma Apartments, Triq L-Ghabex, San Pawl il-Bahar.**

Prezenti ghall-atturi	- hadd
Prezenti ghar-rikorrenti	– Mr. Alfred Ferrante (ID138161M) ghan-nom ta' BNF Bank
Prezenti Ohra	– hadd

Il-perit tekniku wasal fuq il-post notifikat lill partijiet fid-9:00.

Ghat-tielet darba, s-sottoskritt Perit Tekniku flimkien ma raprezentant tal-Bank BNF baqghu jistennew fuq il-post ghal madwar 30 minuta u ghal habta ta' xi d-9:30 minhabba li ma tfaccatx la l-attrici s-Sinjura Farrugia u lanqas raprezentant taghha, u ghalhekk ma inghatax access ghall-propjeta li tinsab f' Nru 25, fi Triq Castro Naxxar, Il-Perit Tekniku informa lir-raprezentant tar-rikorrenti li kien se jwaqqaf l-access u mhux se jmur ghat-tieni propjeta' f'San Pawl il-Bahar.

L-Access intemm ghal habta tad- 9:35am.

Fl-Atti tas-Subbasta Nru Subbasta 1/2019

fl-ismijiet

BNF Bank p.l.c.

C 41030

Vs

Eve Farrugia

502475M

**Traskrizzjoni tal-verbal ta' l-Accessi –28/03/2023**

**Access numru 4** – miftiehem ghad 9:00 ta' filghodu nhar It-Tlieta, 28 ta' Marzu, 2023 f' Nru 25, Triq Castro, Naxxar u wara fl-10:30 access fil-propjeta **Apt.6, Pysma Apartments, Triq L-Ghabex, San Pawl il-Bahar.**

Prezenti ghall-atturi - Mr. Daniel Farrugia  
Prezenti ghar-rikorrenti – Mr. Alfred Ferrante (ID138161M) ghan-nom ta' BNF Bank  
Prezenti Ohra – hadd

Il-perit tekniku wasal fuq il-post notifikat lill partijiet fid-9:00.

L-access beda ghall-habta tad- 9:05 ta' filghodu, fejn mal-wasla fuq il-post miftiehem l-Espert Tekniku inghata access ghall-propjeta' imsemmija. L-access beda billi gie spezzjonat u mkejjel l-ewwel il-pjan terren imbghad il-basement u wara l-ewwel sular.

Gie nnutat li l-fond de-quo, jikkonsisti f' binja ta' zewg sulari kemmxejn antika, pero jidher li giet rinovata xi ftit snin ilu. Dan il-fond ghandu faccata li taghti ghat-triq li hija trejqa pjuttost dejqa mhux wisq 'il boghod mill-knisja parrokkjali u l-pjazza centrali tan-Naxxar.

Kif wiehed jidhol mill-bieb principali ta' din il-binja, wiehed isib intrata b'garaxx fuq il-lemin, u toilet fuq ix-xellug. Wara l-intrata hemm bitha centrali bi kcina fuq il-lemin u wara kamra kbira li kienet mithna antika bi hnejjiet kbar tal-gebel u saqaf tax-xorok fuqhom. Fuq wara nett ta' dan is-sular hemm bitha pjuttost kbira fejn hemm ukoll access ghal basement level permezz ta' garigor tal-hadid. Dan il-basement li huwa pjuttost imdaqqs u li jinsab taht il-bitha msemmija, kien mahsub biex jintuza bhala garaxx, pero fil-prezent ghandu l-bieb tieghu imblukkat b'hajt tal-briks.



Fl-ewwel sular hemm tlett kmamar tas-sodda tnejn minnhom b'ensuites u terazzin fuq wara. Sabiex ikun jista' jigi spjegat u muri ahjar kemm il-kobor kif ukoll l-istat ta' dan il-fond, il-Perit Tekniku ha l-qisien necessarji tal-livelli kollha sabiex ikun jista' jaghmel pjanta tieghu, kif ukoll ha serje ta' ritratti, kemm minn barra kif ukoll minn gewwa ta' din il-propjeta' sabiex dan il-fond ikun jista' jigi spjegat ahjar.

L-access ta' dan il-fond inghalaq ghal-habta tal-hdax ta' filghodu (11:00 a.m.) u l-partijiet fthiemu li jiltaqghu quddiem it-tienipropjeta f'San Pawl il-bahar madwar 20 minuta wara.

Il-partijiet kollha waslu quddiem it-tieni propjeta f'San Pawl il-Bahar ghall-habta tal-11:20 ta' filghodu, fejn l-espert tekniku inghata access ghall-appartament bin-numru 6 fi Prysma Apartments f' hin qasir.

L-espert tekniku ha l-qisien kollha mehtiega sabiex ikun jista jipprepara pjanta tal-fond de-quo flimkien ma serje ta' ritratti sabiex ikun jista jespleka l-inkarigu lilu mghoti.

L-espert tekniku innota li dan il-fond jikkonsisti f'appartament b'zewgt ikmamar tas-sodda li jinsab fit-tielet sular (third floor) ta' blokka appartamenti li jinsabu f'zona residenzjali mhux il-boghod mic-centru ta' Bugibba.

Gie nnutat ukoll li dan l-appartament ghandu zewg gallariji, wahda tghati ghal fuq it-triq filwaqt li l-ohra tghati ghal fuq btiehi ta' terzi li hemm fuq in-naha ta' wara tal-propjeta.

Il-kundizzjoni ta' dan il-fond hija generalment tajba u jinsab fi stat abitabbli.

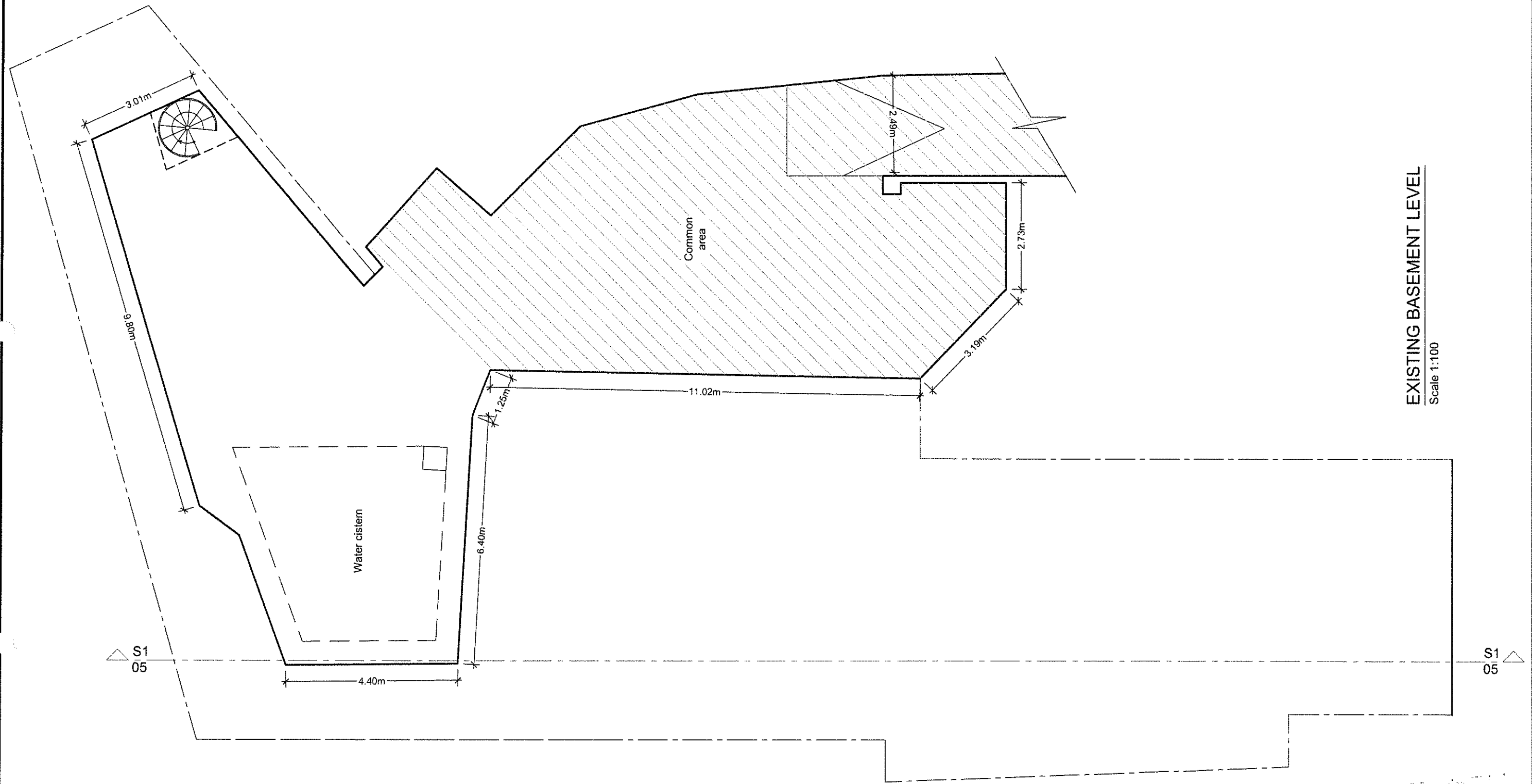
L-access ta' dan il-fond inghalaq ghal-habta ta' nofs-in-nhar (12:00pm.)

**PERIT MARVIN ELLUL**

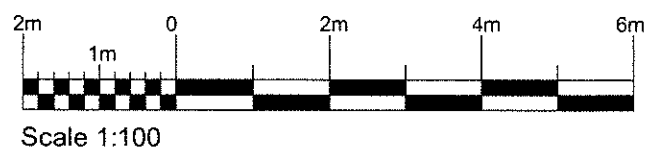
**Perit Tekniku (Warrant No. 402)**  
2, Norton Mansions,  
Triq Ta' L-Iklin, Hal-Ghaxaq.  
Data: 2/5/2017







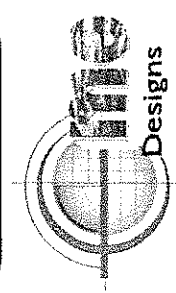
EXISTING BASEMENT LEVEL  
Scale 1:100



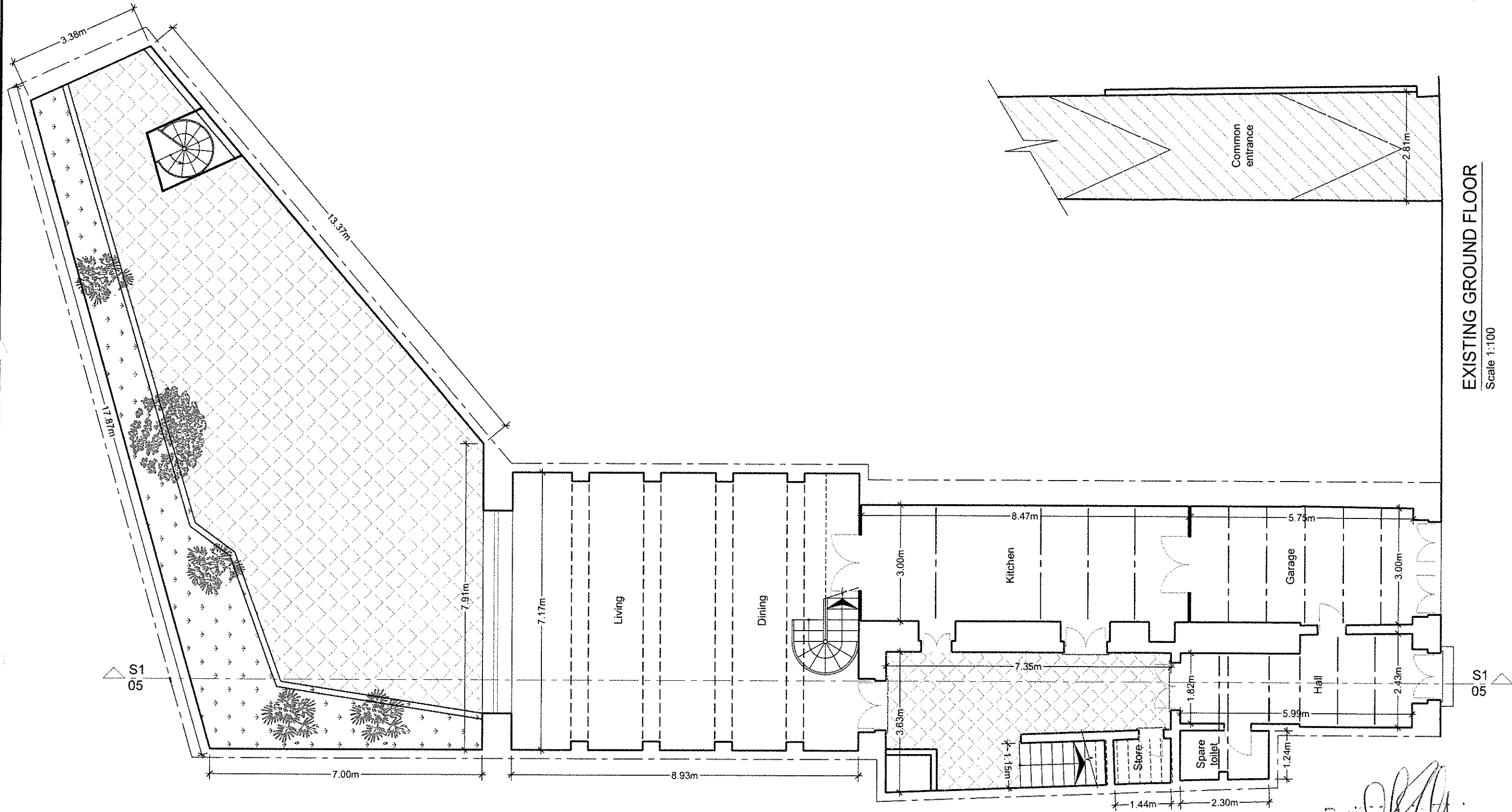
Drawn by Jeslan C.	Checked by EM	File Number ME 19017-A
Drawing Number <b>19017A - 01</b>	Revision <b>0</b>	Scale 1:100
	Date 19th June, 2023	

Client SUBBASTI
Site Location 25, Triq Castro, Naxxar

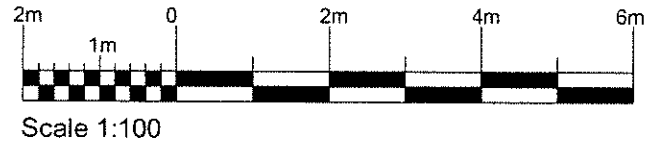
Project Title <b>PREPARATION OF EXISTING DRAWINGS</b>
Drawing Title <b>PLANS</b>



*(Handwritten signature)*  
 PERIT MARVIN ELLUL  
 Architect and Civil Engineer  
 2, Norton Mansions,  
 Triq Ta' L-Iklin, Ghaxaq.  
 Tel: 21654041  
 Fax: 21677243  
 Mob: 7949 0514  
 Warrant No. 402  
 email: peritmellul@gmail.com



EXISTING GROUND FLOOR  
Scale 1:100



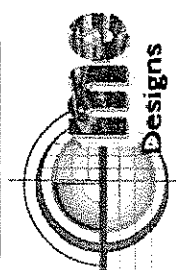
Drawn by Jeslan C.	Checked by EM	File Number ME 19017-A
Drawing Number <b>19017A - 02</b>	Revision <b>0</b>	Scale 1:100
	Date 19th June, 2023	

Client  
SUBBASTI

Site Location  
25,  
Triq Castro,  
Naxxar

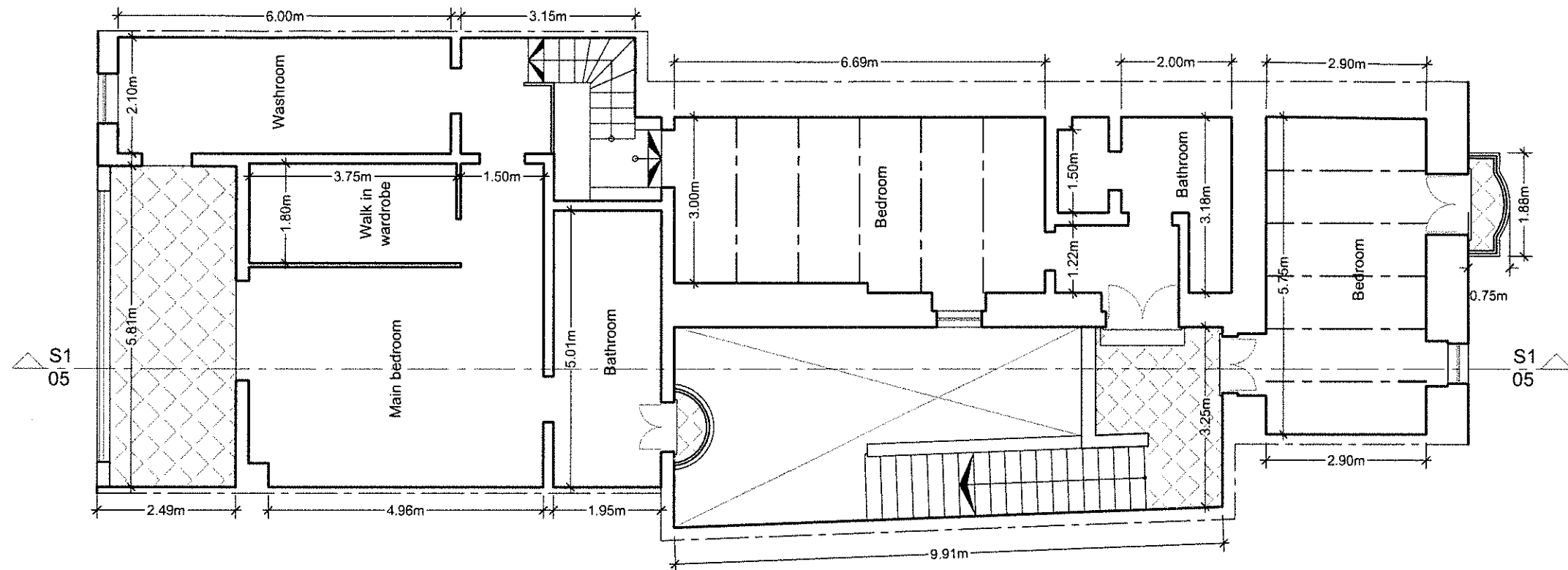
Project Title  
**PREPARATION OF  
EXISTING DRAWINGS**

Drawing Title  
**PLANS**

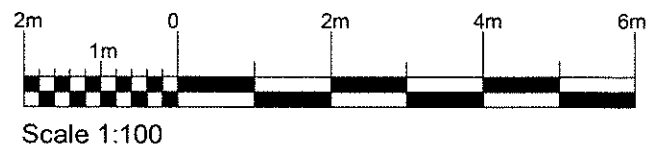


*[Handwritten signature]*  
 ANTHONY PERIT MARVIN ELLUL  
 Architect and Civil Engineer  
 2, Norton Mansions,  
 Triq Ta' L-Iklin, Ghaxaq.  
 Tel: 21654041  
 Fax: 21677243  
 Mob: 7949 0514  
 email: peritmellul@gmail.com  
 Warrant No. 402

**PERIT MARVIN ELLUL**  
 Architect and Civil Engineer  
 2, Norton Mansions,  
 Triq Ta' L-Iklin, Ghaxaq.  
 Tel: 21654041  
 Fax: 21677243  
 Mob: 7949 0514  
 email: peritmellul@gmail.com  
 Warrant No. 402



EXISTING FIRST FLOOR  
Scale 1:100



Drawn by Jeslan C.	Checked by EM	File Number ME 19017-A
Drawing Number <b>19017A - 03</b>	Revision <b>0</b>	Scale 1:100
		Date 19th June, 2023

Client SUBBASTI
Site Location 25, Triq Castro, Naxxar

Project Title <b>PREPARATION OF EXISTING DRAWINGS</b>
Drawing Title <b>PLANS</b>



*[Handwritten Signature]*  
Architect and Civil Engineer  
2, Norton Mansions,  
Triq Ta' L-Iklin, Ghaxaq.

**PERIT MARVIN ELLUL**

Architect and Civil Engineer

2, Norton Mansions,  
Triq Ta' L-Iklin, Ghaxaq.

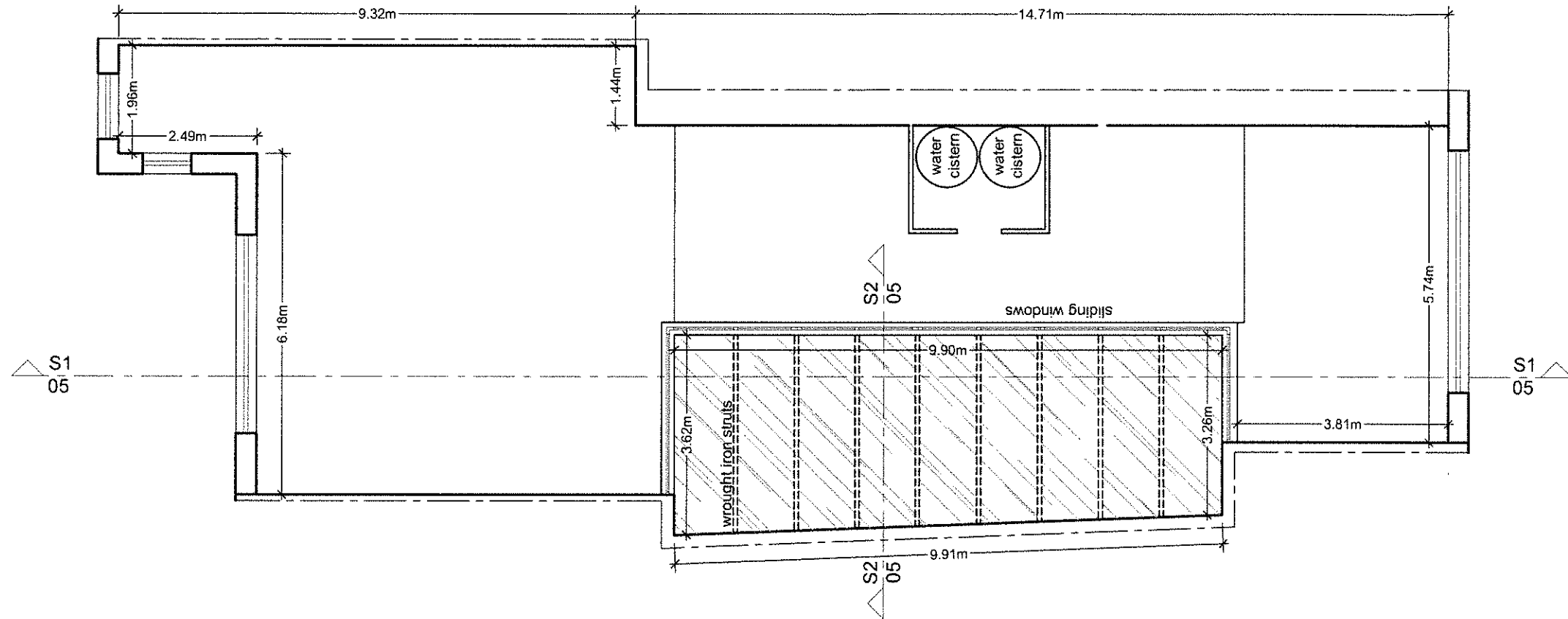
Tel: 21654041

Fax: 21677243

Mob: 7949 0514

email: peritmellul@gmail.com

Warrant No. 402



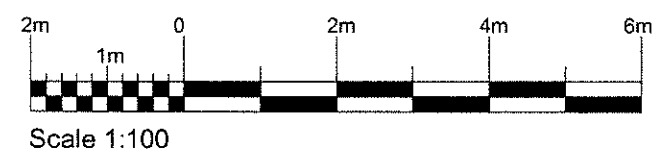
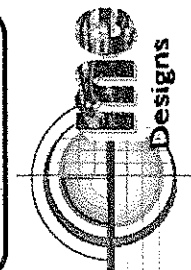
EXISTING ROOF LEVEL  
Scale 1:100

Perit Marvin Ellul  
B.E. & Archons., A & C.E.  
AS  
Cant. Eng. T-Te Jerlu.  
T.C. 1988

**PERIT MARVIN ELLUL**

Architect and Civil Engineer  
2, Norton Mansions,  
Triq Ta' L-Iklin, Ghaxaq.

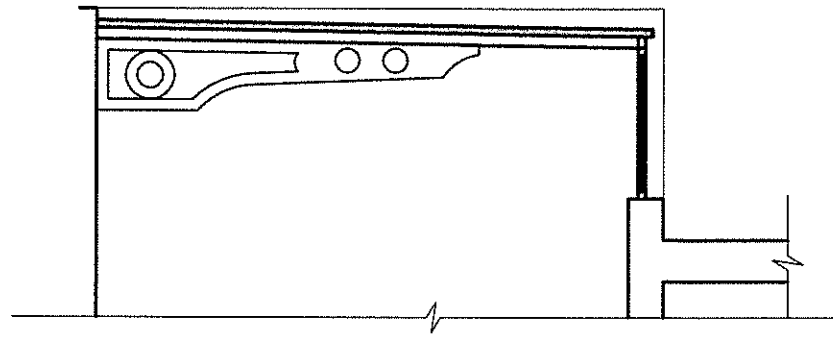
Tel: 21654041  
Fax: 21677243  
Mob: 7949 0514  
email: peritmellul@gmail.com  
Warrant No. 402



Drawn by Jeslan C.	Checked by EM	File Number ME 19017-A
Drawing Number <b>19017A - 04</b>	Revision <b>0</b>	Scale 1:100
		Date 19th June, 2023

Client SUBBASTI
Site Location 25, Triq Castro, Naxxar

Project Title <b>PREPARATION OF EXISTING DRAWINGS</b>
Drawing Title <b>PLANS</b>



**S2 - EXISTING SECTION THROUGH YARD**

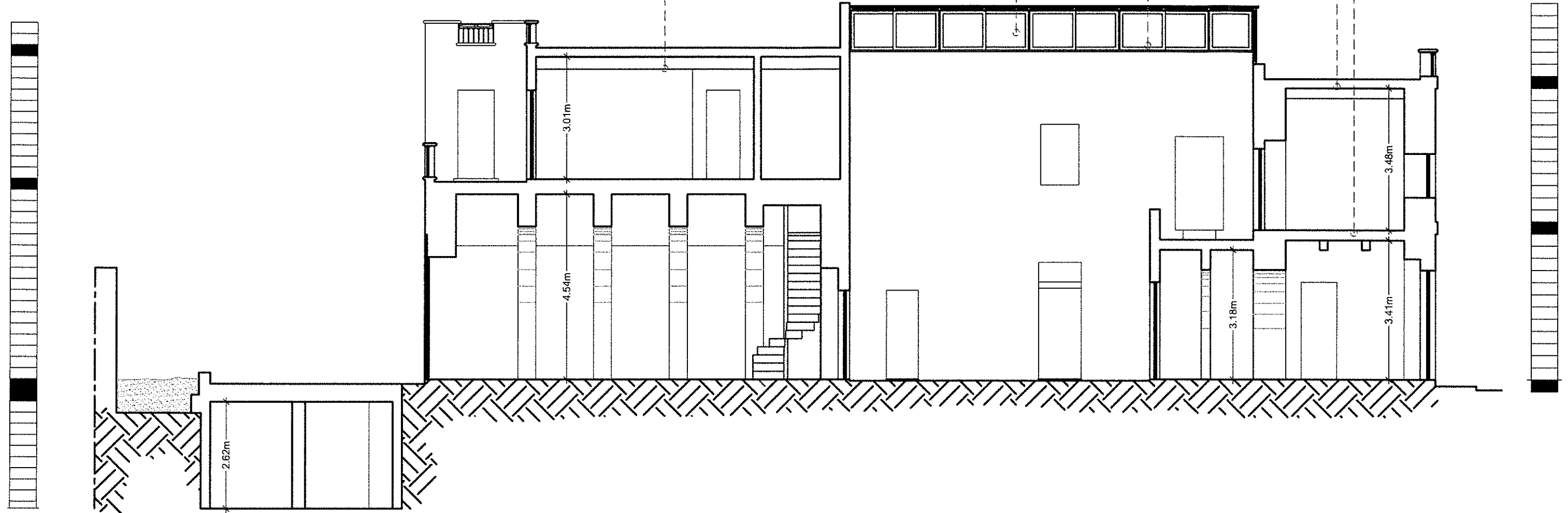
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GYPSUM SOFFIT

CLEAR GLASS

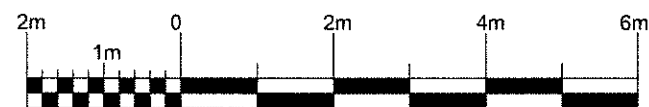
SLIDING WINDOWS

TIMBER BEAMS & FRANKA STONE SLABS



**S1 - EXISTING LONGITUDINAL SECTION**

Scale 1:100



Scale 1:100

Drawn by Jeslan C.	Checked by EM	File Number ME 19017-A
Drawing Number <b>19017A - 05</b>	Revision <b>0</b>	Scale 1:100
	Date 19th June, 2023	

Client SUBBASTI
Site Location 25, Triq Castro, Naxxar

Project Title <b>PREPARATION OF EXISTING DRAWINGS</b>
Drawing Title <b>SECTIONS</b>



**PERIT MARVIN ELLUL**

Architect and Civil Engineer

2, Norton Mansions,  
Triq Ta' L-Iklin, Ghaxaq.

Tel: 21654041  
Fax: 21677243  
Mob: 7949 0514

Warrant No. 402  
email: peritmellul@gmail.com



WEATHERED STONE FINISH

WROUGHT IRON RAILING (GREY COLOUR)

TIMBER APERTURES (WHITE COLOUR)

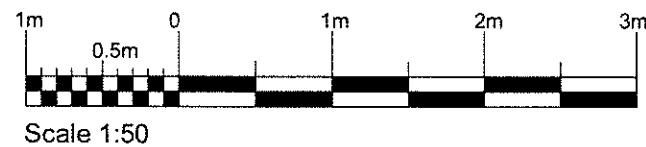
**E1 - EXISTING ELEVATION**

Scale 1:50



'FUQ IL-FIL' FINISH

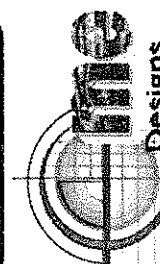
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Drawn by Jeslan C.	Checked by EM	File Number ME 19017-A
Drawing Number <b>19017A - 06</b>	Revision <b>0</b>	Scale 1:50
	Date 19th June, 2023	

Client SUBBASTI
Site Location 25, Triq Castro, Naxxar

Project Title <b>PREPARATION OF EXISTING DRAWINGS</b>
Drawing Title <b>ELEVATION</b>



**PERIT MARVIN ELLUL**  
 Architect and Civil Engineer  
 2, Norton Mansions,  
 Triq Ta' L-Iklin, Ghaxaq.  
 Tel: 21654041  
 Fax: 21677243  
 Mob: 7949 0514  
 email: peritmellul@gmail.com  
 Warrant No. 402

Subbasta nru. 1/19



R-A01 – Faccata tal-binja li tinsab f' nru 25, Triq Castro, Naxxar



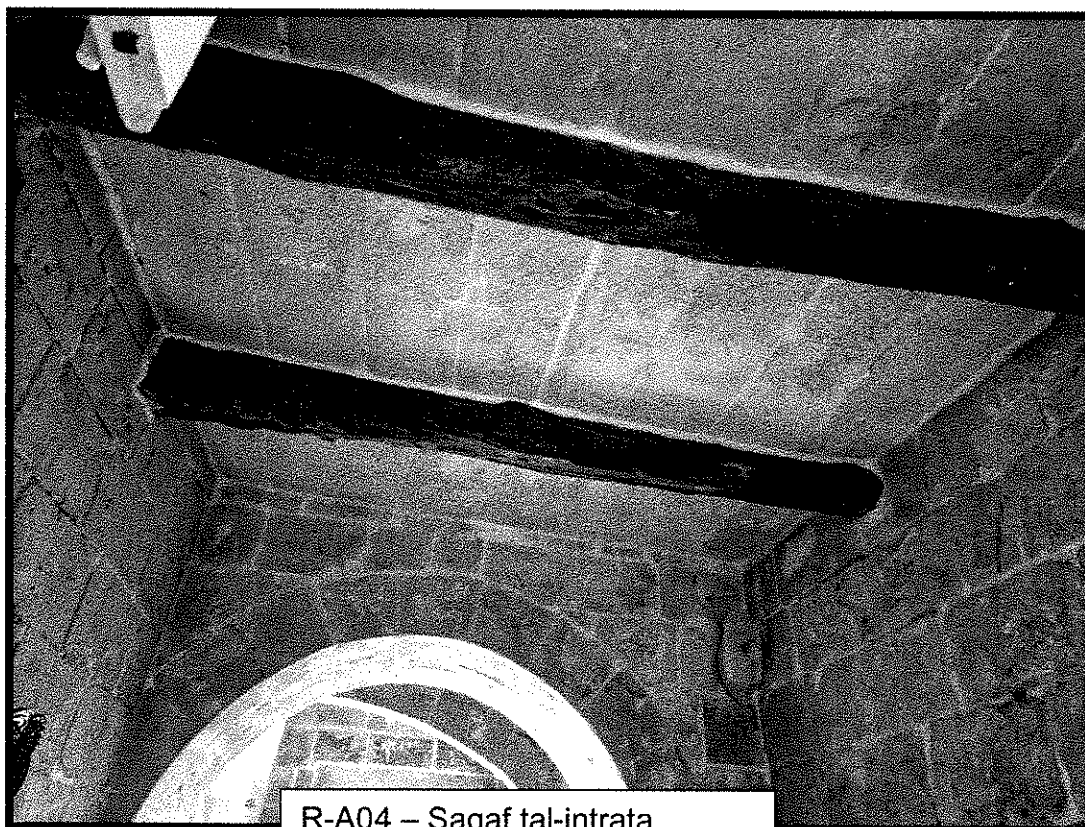
R-A02 – Intrata

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



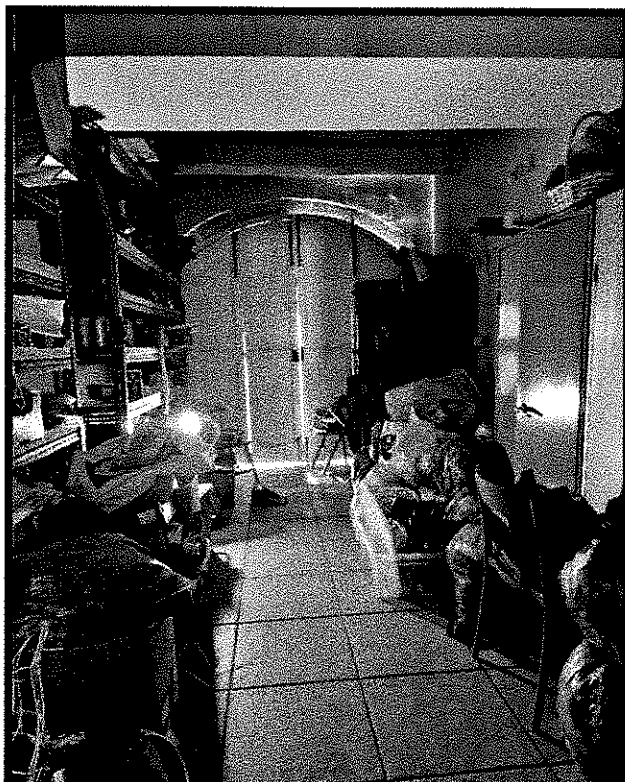
R-A03 – Dahla/entrata minn hdejn bieb ta' barra



R-A04 – Saqaf tal-intrata

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A05 – Dehra tal-garaxx mill bieb tal-kcina

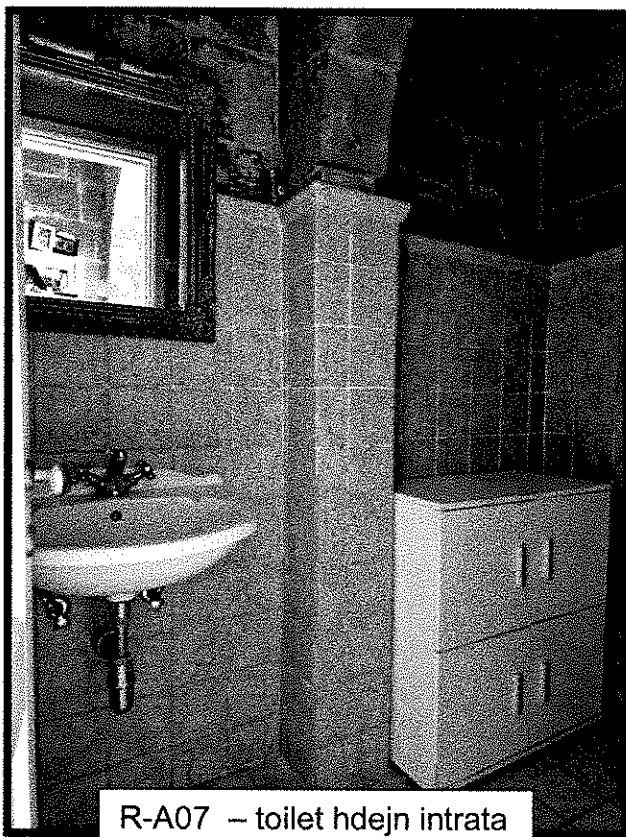


R-A06 - Bieb bejn garaxx u kcina



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A07 – toilet hdejn intrata



R-A08 – Toilet hdejn Intrata

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



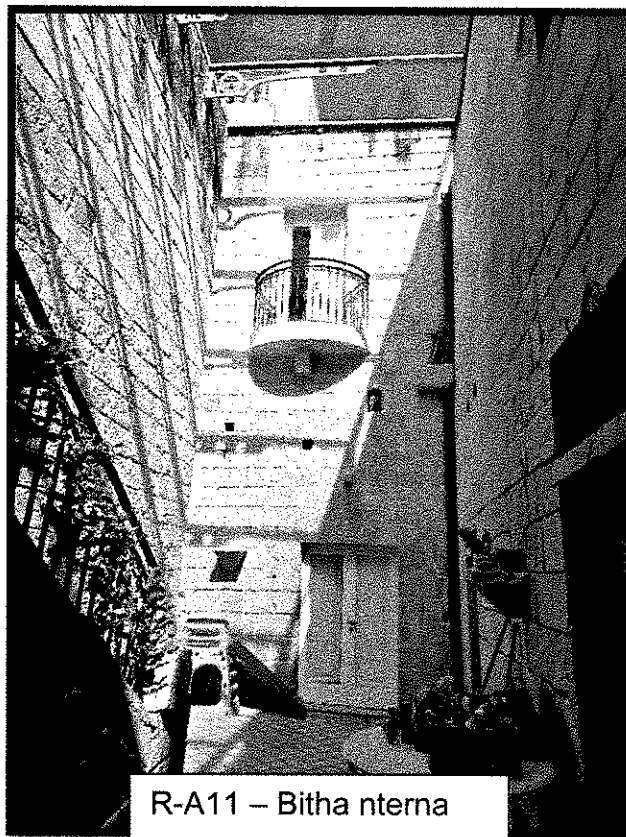
R-A09 – dehratal-bitha nterna mill-intrata



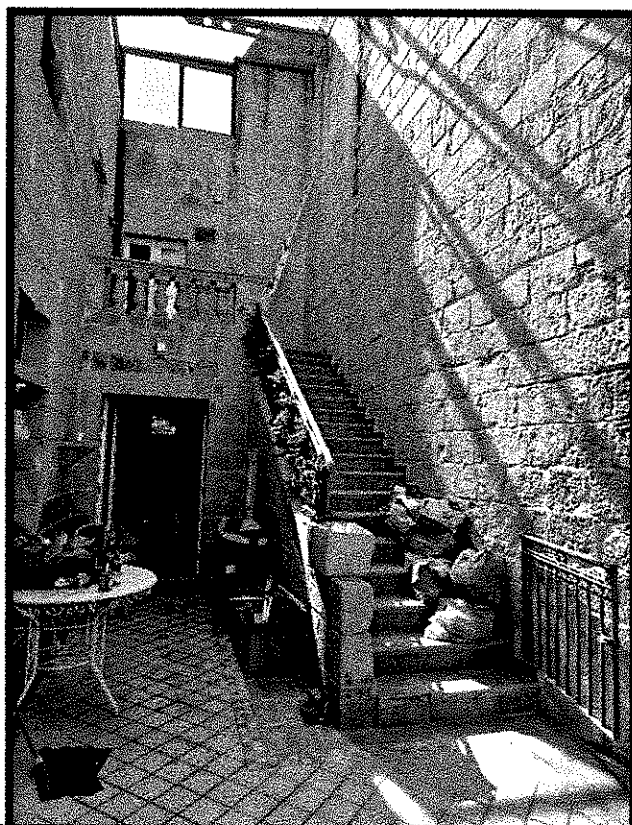
R-A10 – saqaf fuq il-bitha nterna

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A11 – Bitha nterna



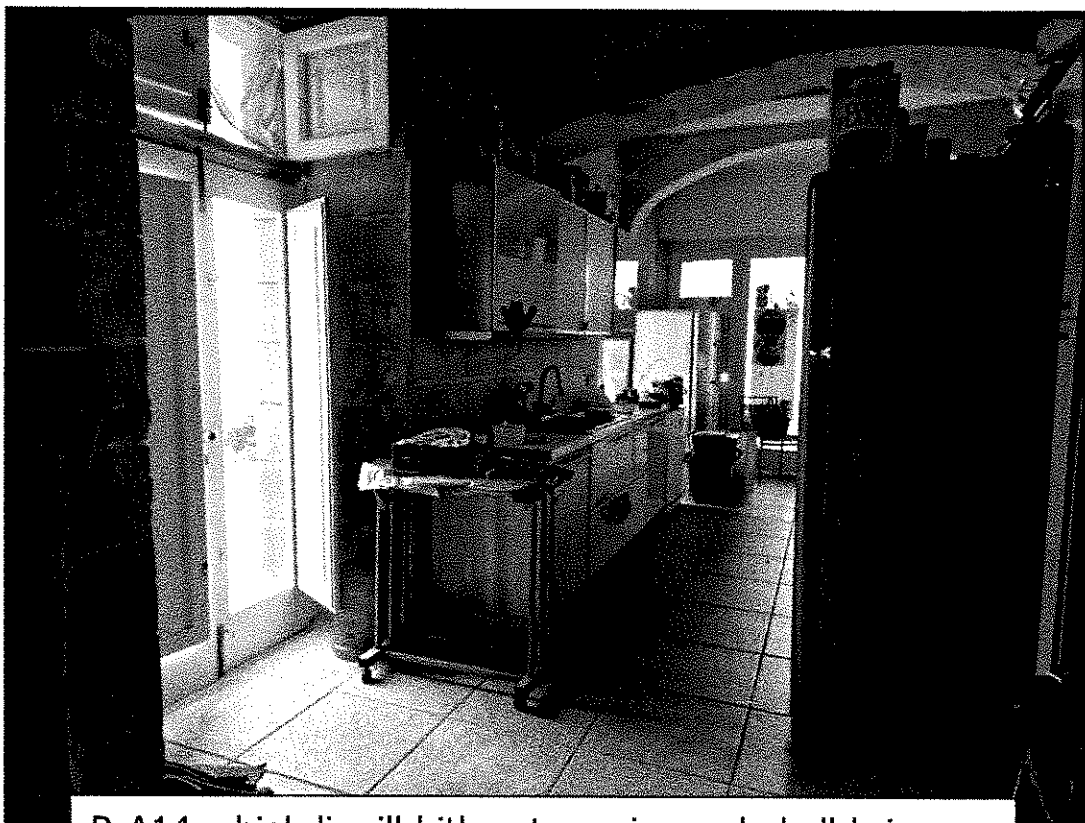
R-A12 – Bitha nterna – tarag ghall ewwel sular

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A13 – Travi fil-garaxx



R-A14 – bieb li mill-bitha nterna jwassal għall-kcina

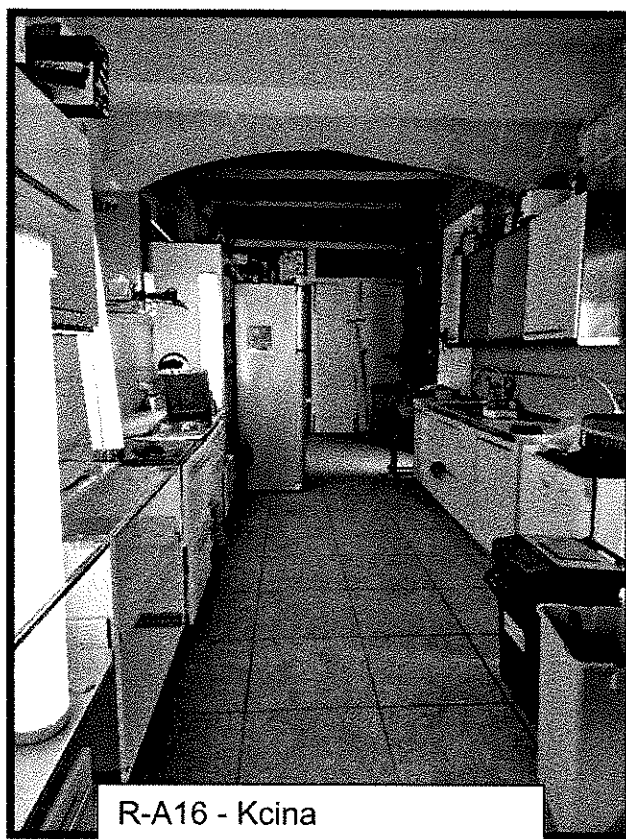


**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A15 - Kcina



R-A16 - Kcina

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A17 – Saqaf tal-kcina



R-A18 - Salott u kamra tal-ikel

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



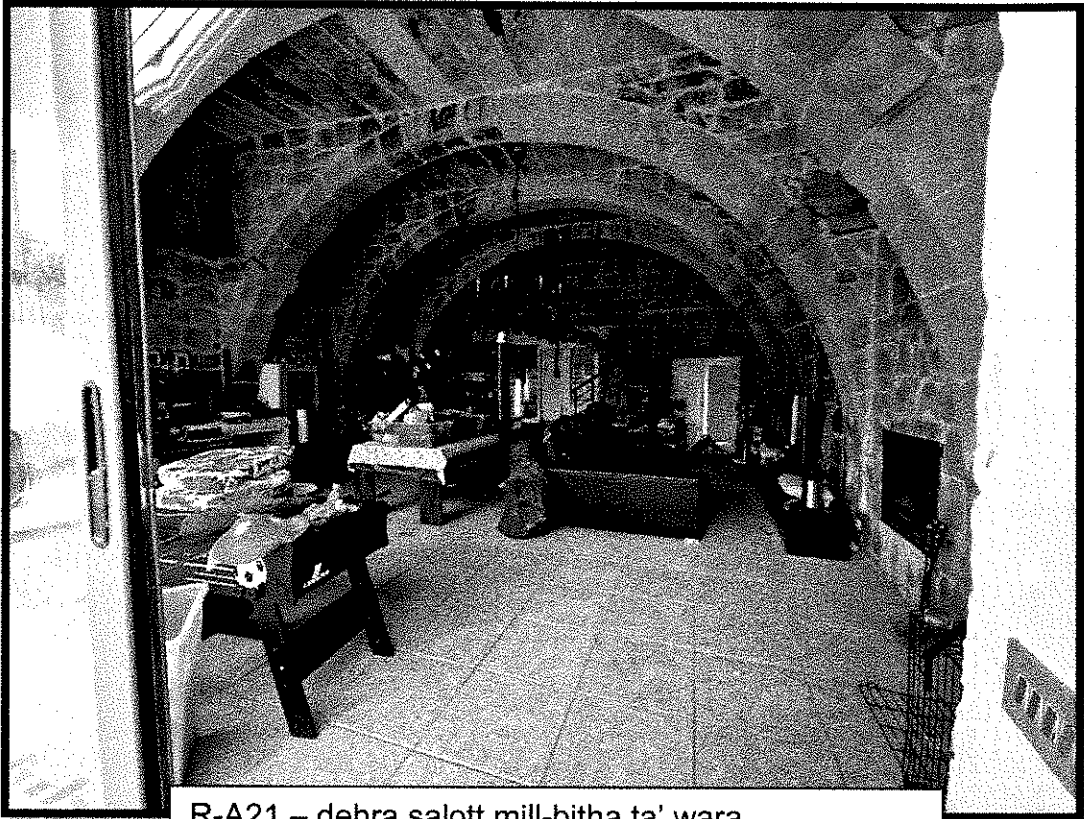
R-A19 – (mithna) Salott u kamra tal-ikel minn hdejn bieb tal-kcina



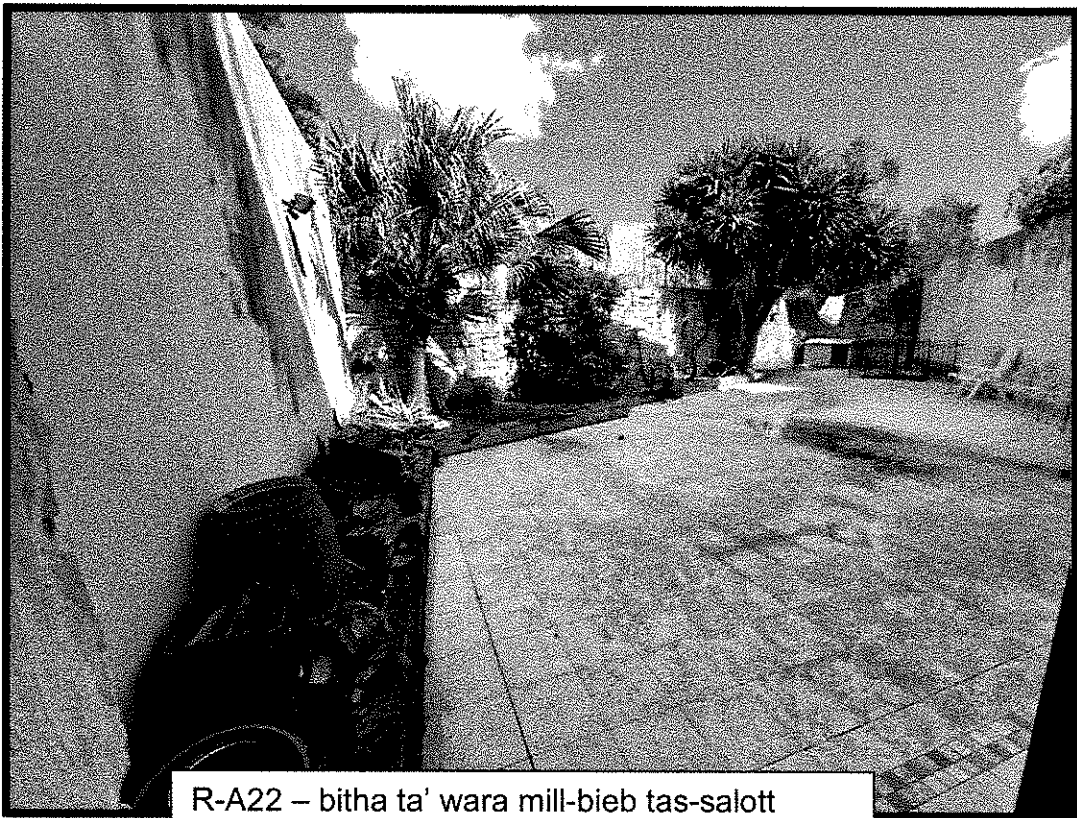
R-A20 – dehra salott minn hdejn il-bitha ta' wara

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A21 – dehra salott mill-bitha ta' wara

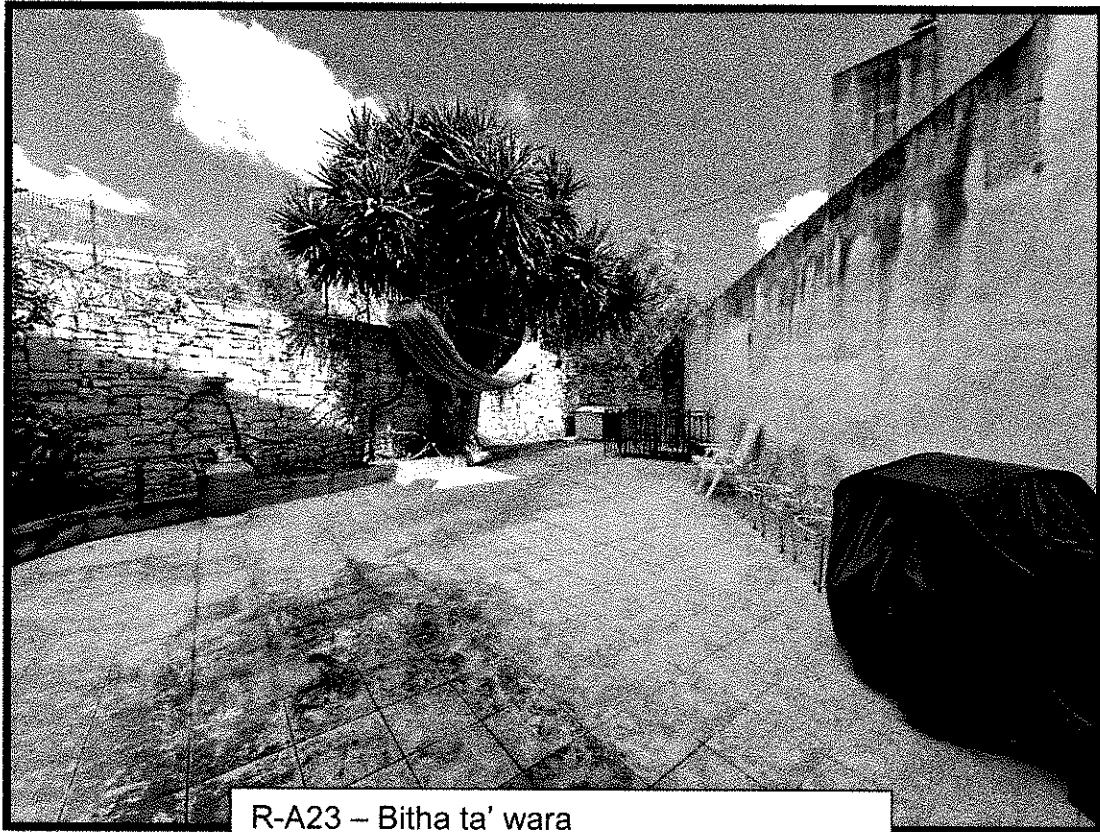


R-A22 – bitha ta' wara mill-bieb tas-salott



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A23 – Bitha ta' wara



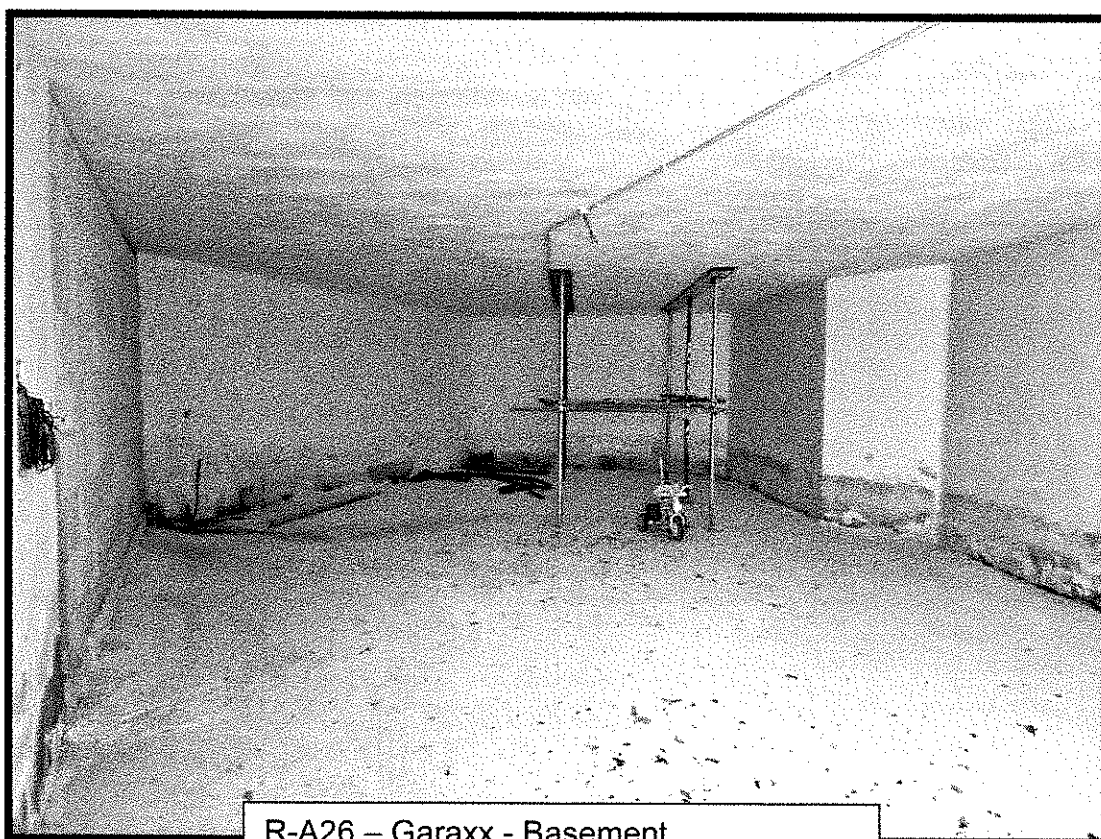
R-A24 – Bitha Ta' Wara minn hdejn tarag tal-basement

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



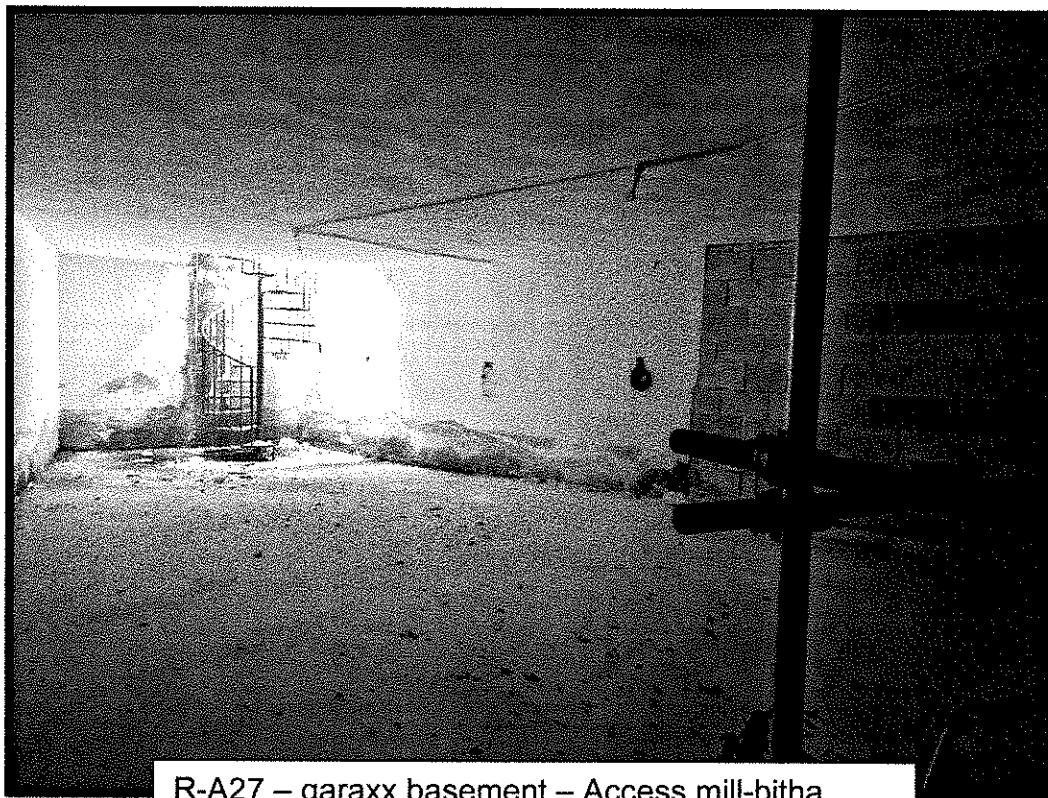
R-A25 - Tarag għall-Basement



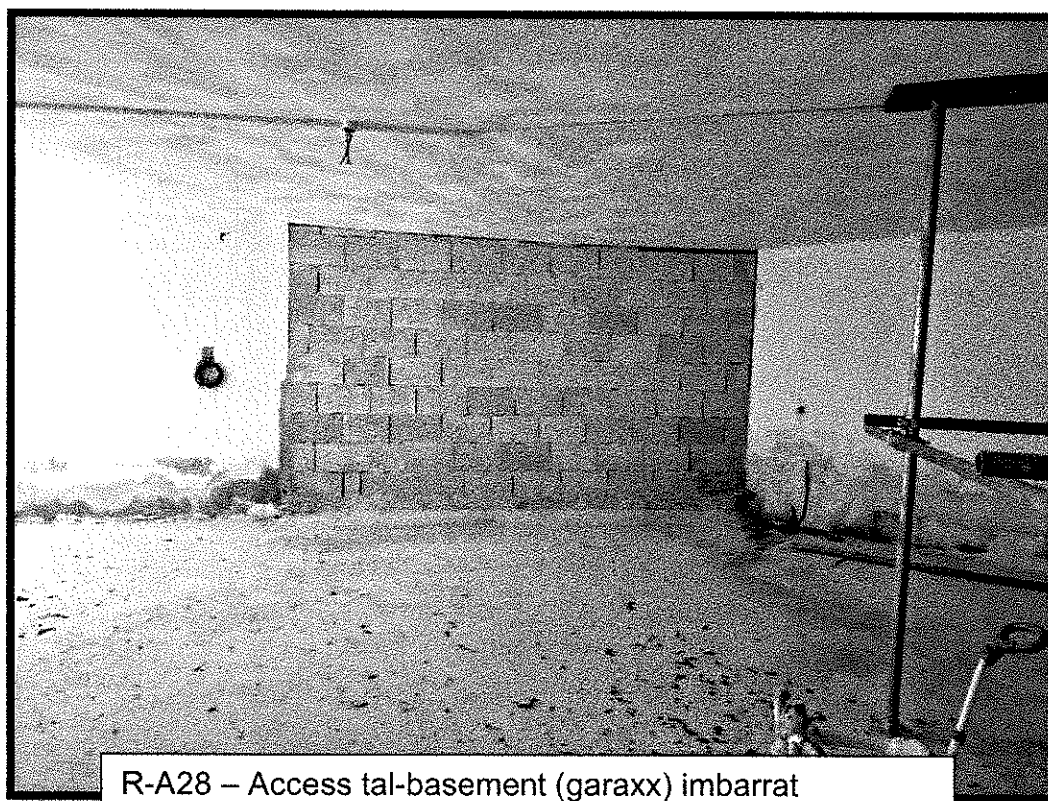
R-A26 - Garaxx - Basement

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A27 – garaxx basement – Access mill-bitha

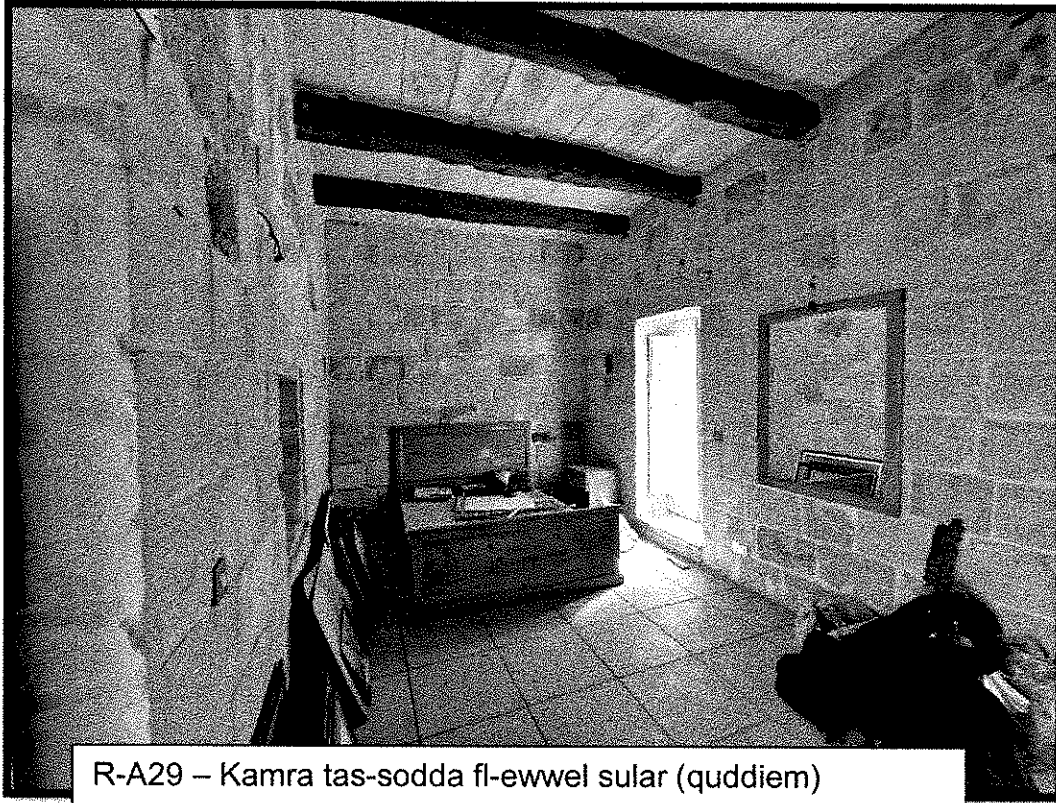


R-A28 – Access tal-basement (garaxx) imbarrat

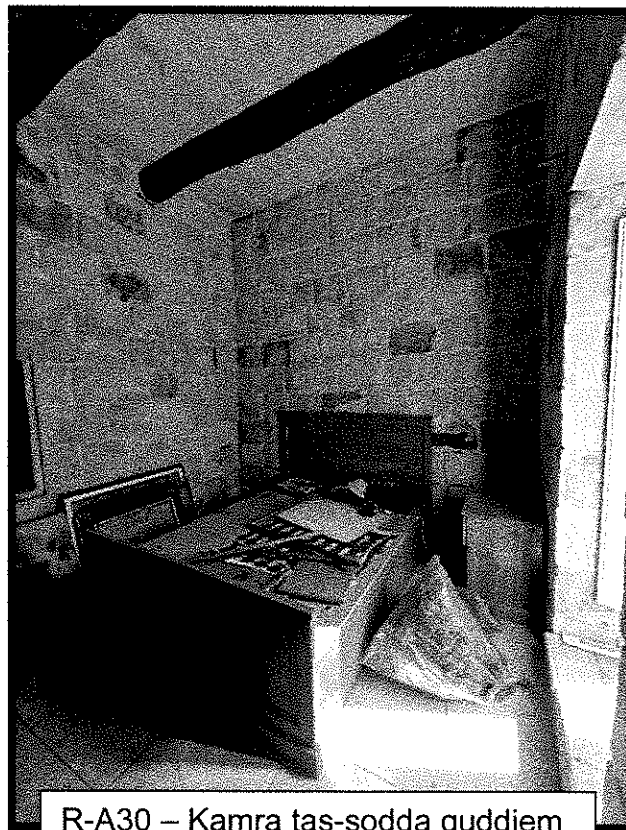


**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A29 – Kamra tas-sodda fl-ewwel sular (quddiem)



R-A30 – Kamra tas-sodda quddiem

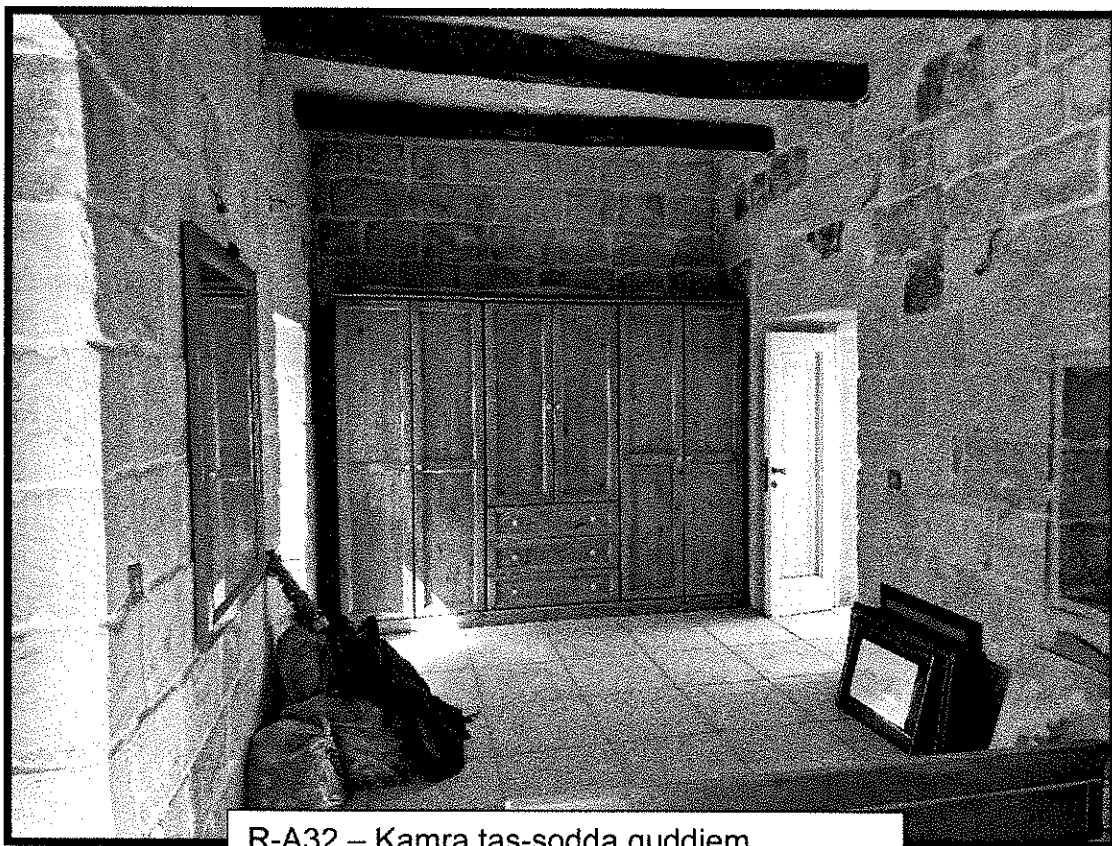


**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A31 – Dettall – Aperturi tal-injam



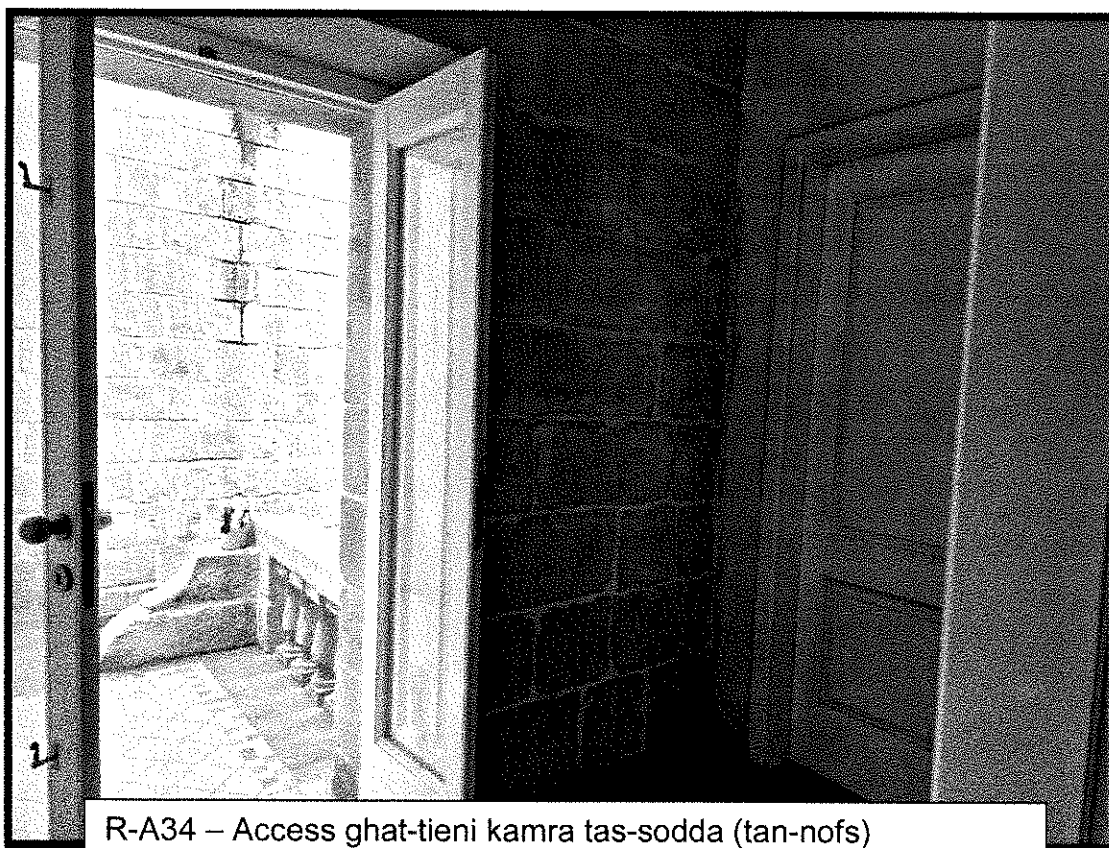
R-A32 – Kamra tas-sodda quddiem

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



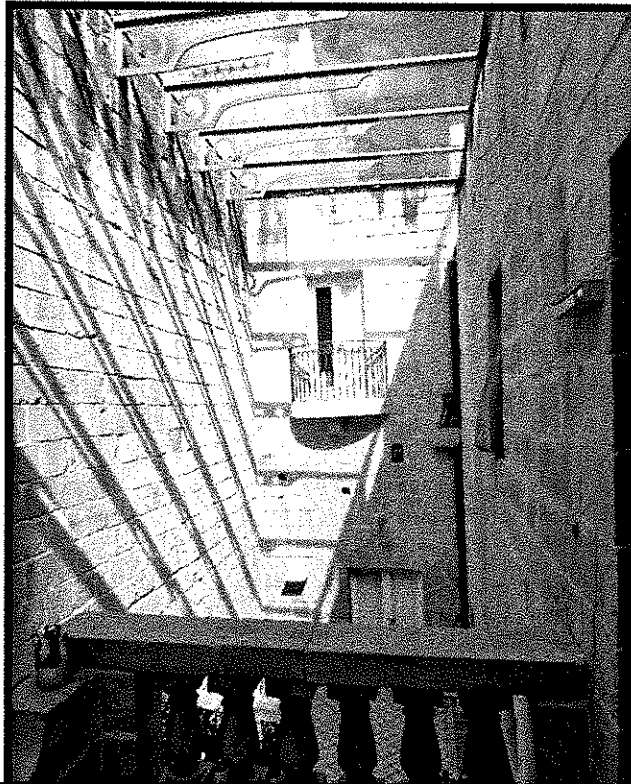
R-A33 – bieb li jwassal għall-kamra tas-sodda



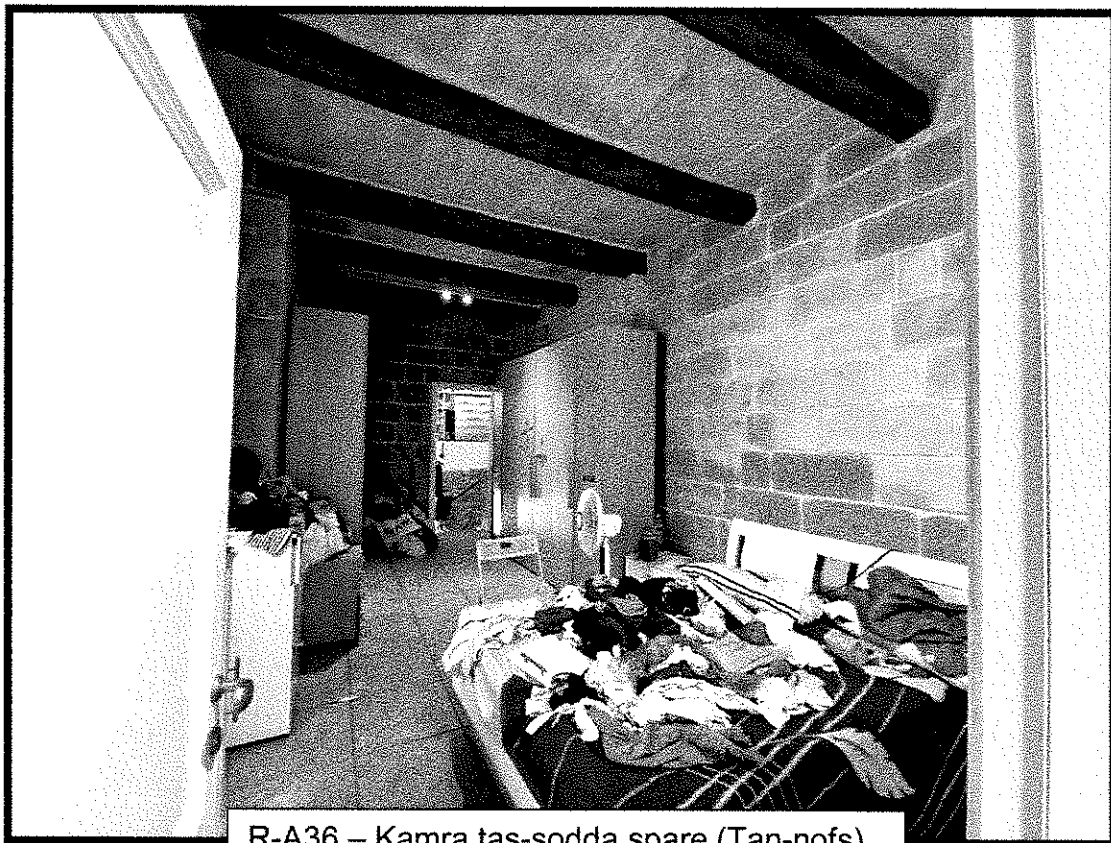
R-A34 – Access għat-tieni kamra tas-sodda (tan-nofs)

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A35 – Dehra tal-bitha nterna mill-ewwel sular



R-A36 – Kamra tas-sodda spare (Tan-nofs)

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A37 - En-suite hdejn kamra tas-sodda tan-nofs

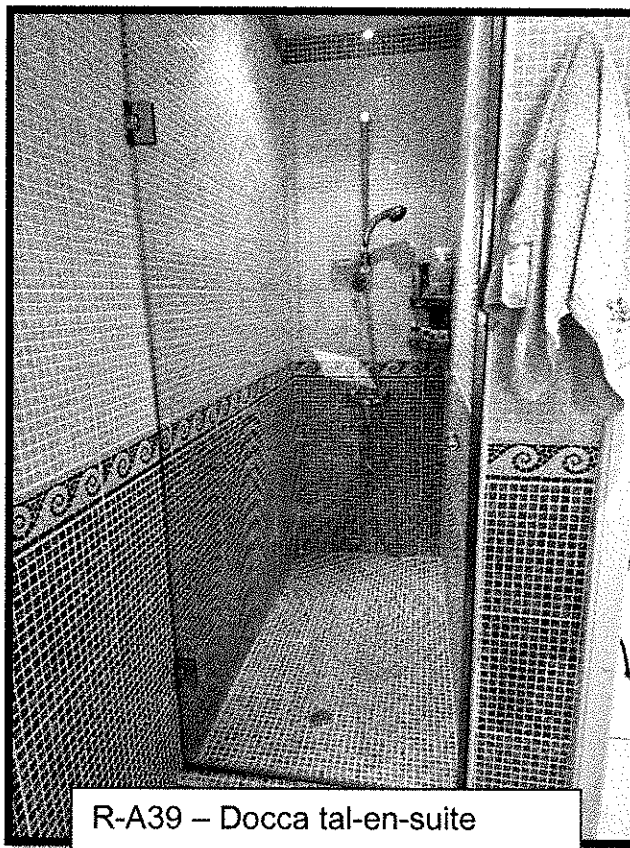


R-A38 – Dehra ohra tal-en-suite

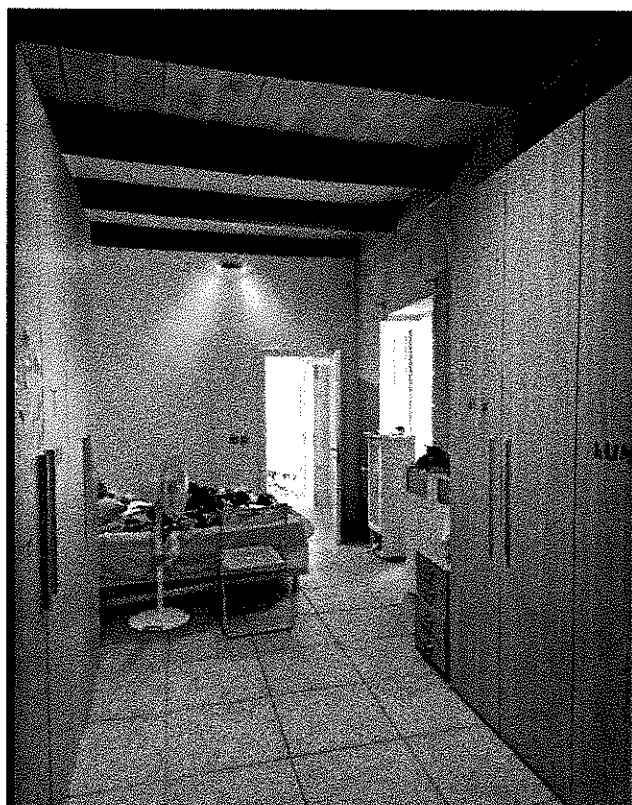


## QORTI CIVILI TA' MALTA

Subbasta nru. 1/19



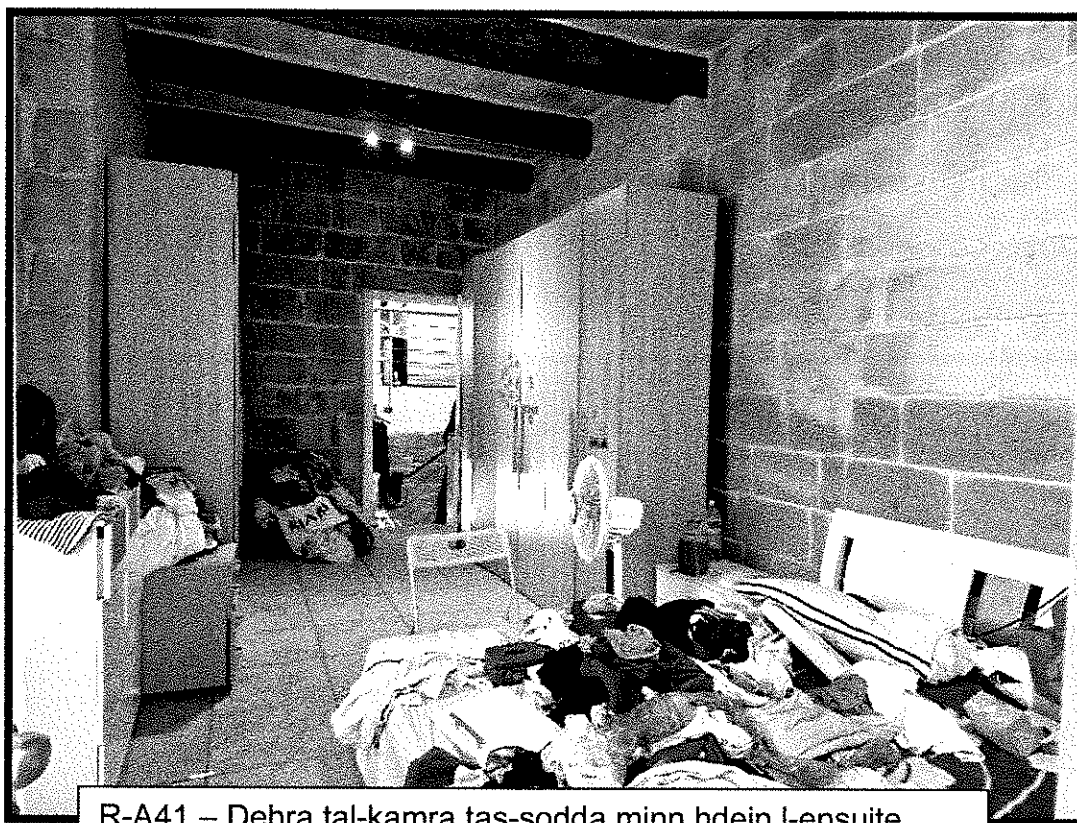
R-A39 – Docca tal-en-suite



R-A40 – Dehra tal-kamra tas-sodda minn wara

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



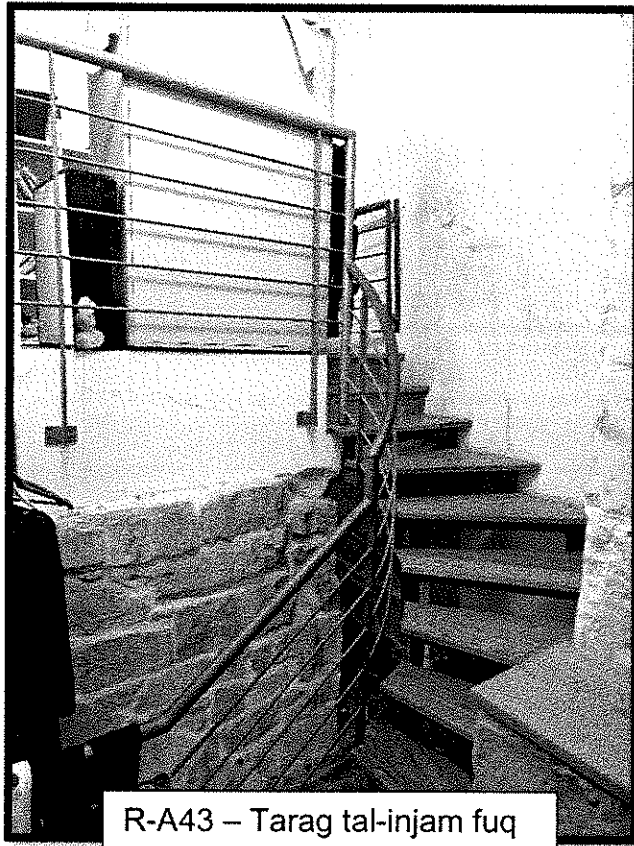
R-A41 – Dehra tal-kamra tas-sodda minn hdejn l-ensuite



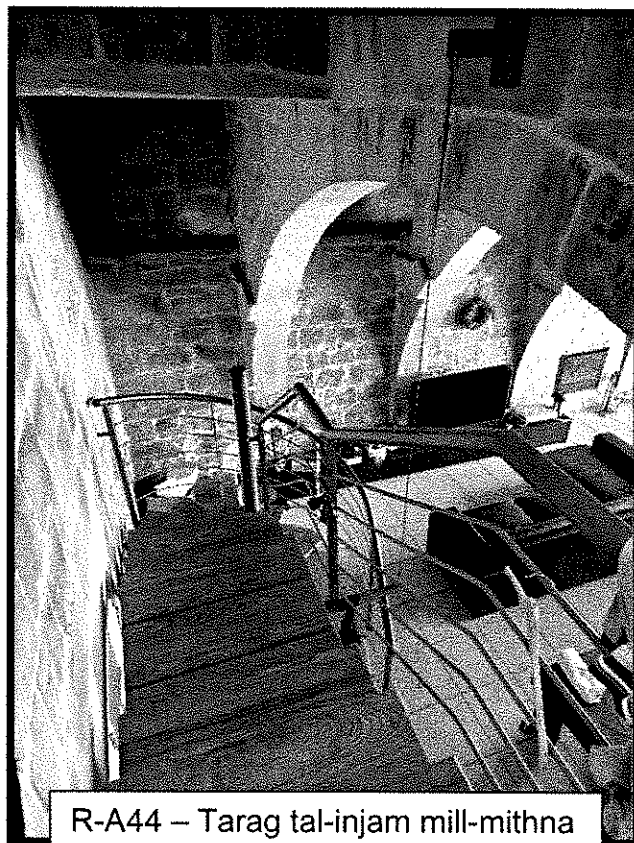
R-A42 – Saqaf tal-kamra tas-sodda

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A43 – Tarag tal-injam fuq  
wara tal-kamra tas-sodda



R-A44 – Tarag tal-injam mill-mithna

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



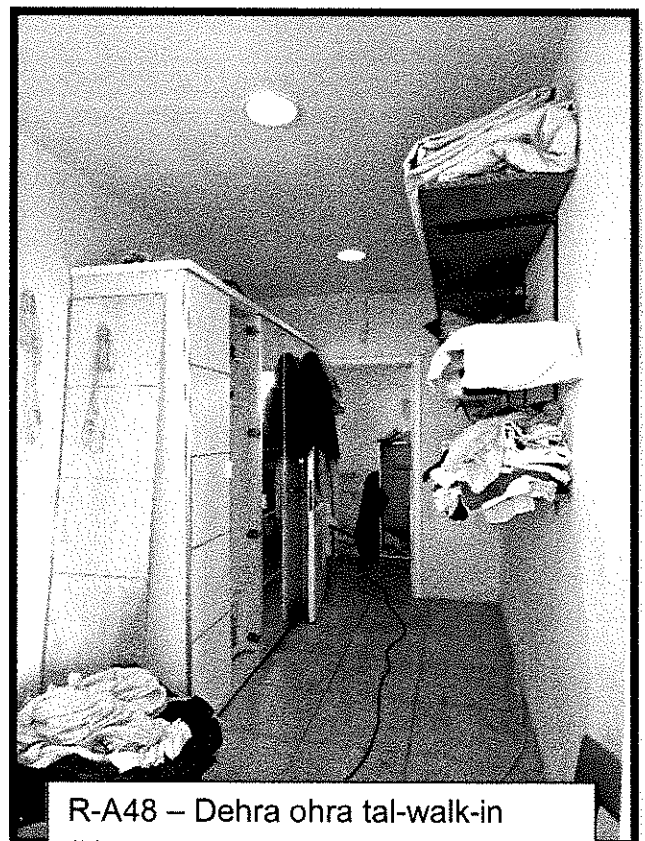
R-A45 – Dahla hdejn kamra tas-sodda ta' wara



R-A46 – Dahla tal-walk-in (Kamra tas-sodda ta' wara)



R-A47 – Access ghall-kamra tas-sodda ta' wara

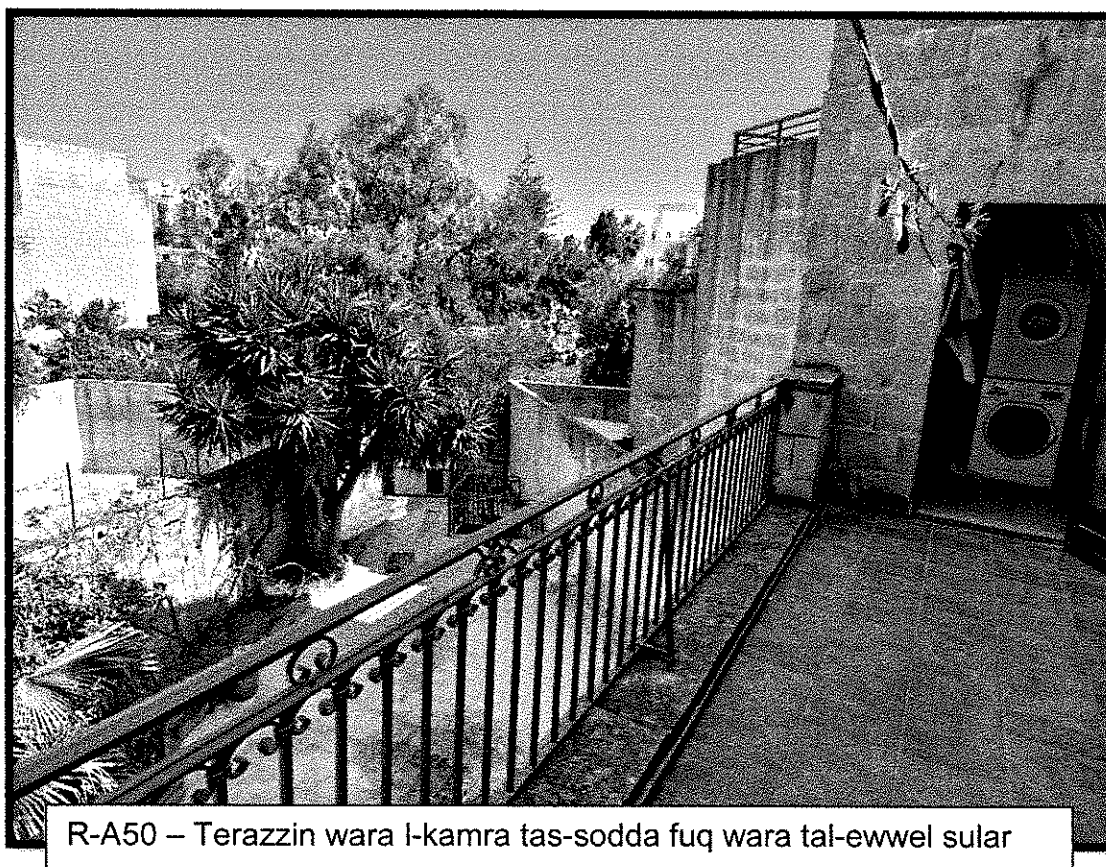
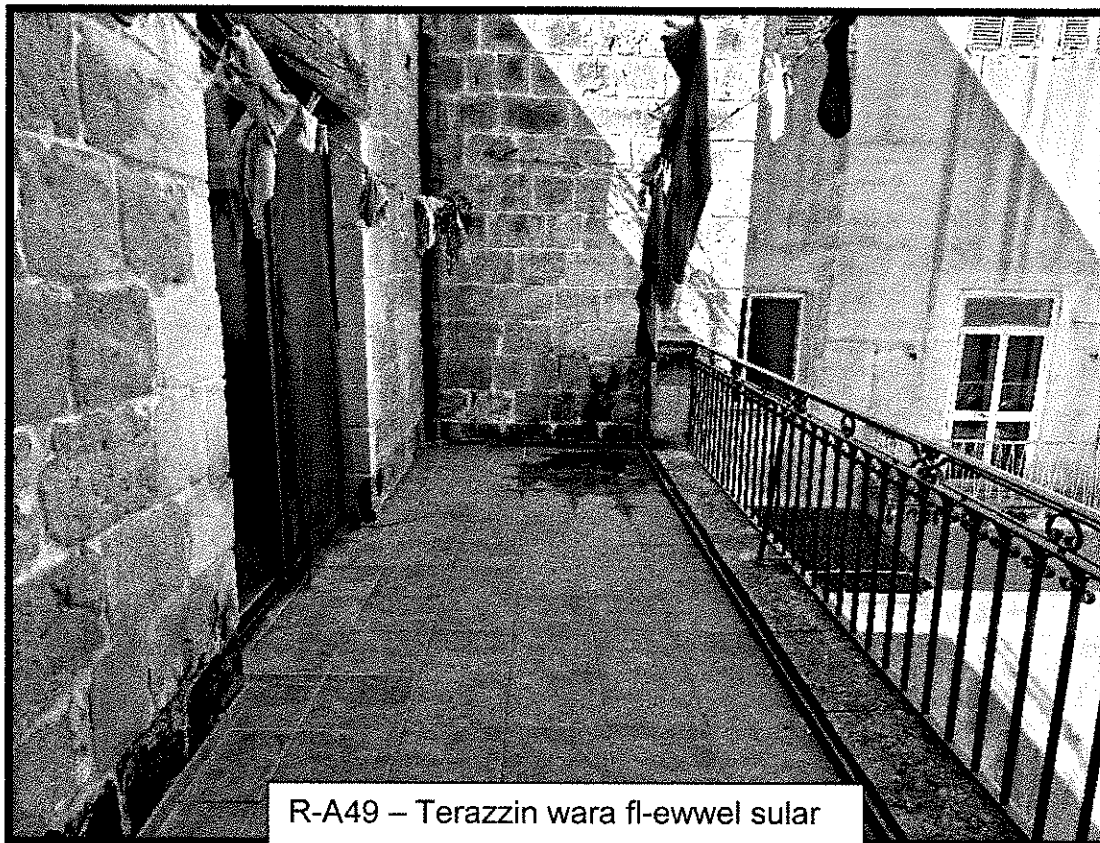


R-A48 – Dehra ohra tal-walk-in (Kamra tas-sodda ta' wara)



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19

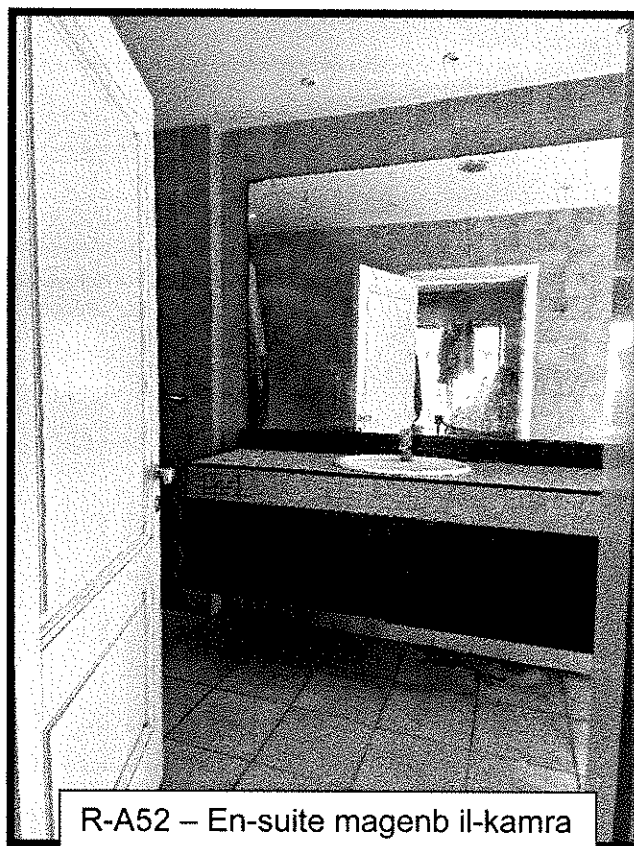


**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



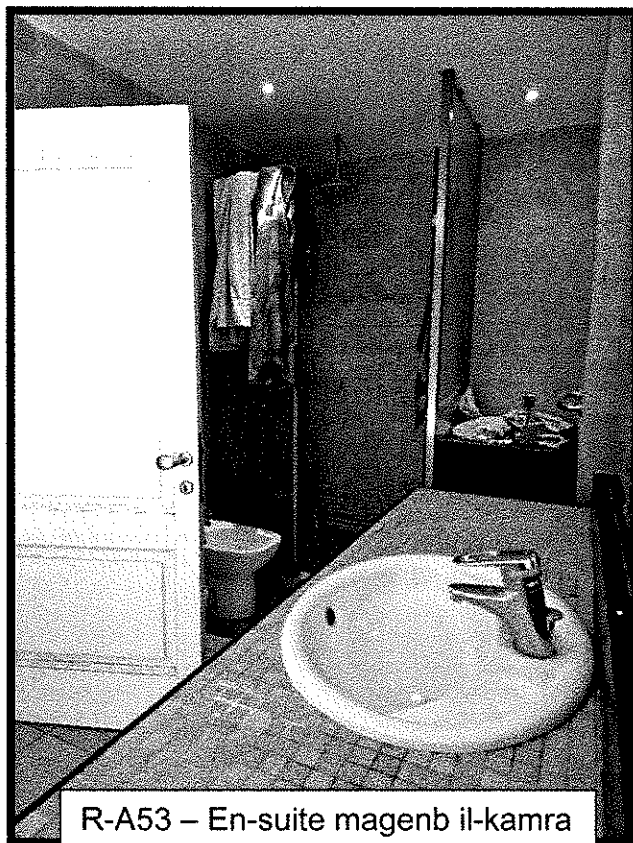
R-A51 – Kamra tas-sodda fuq wara tal-ewwel sular



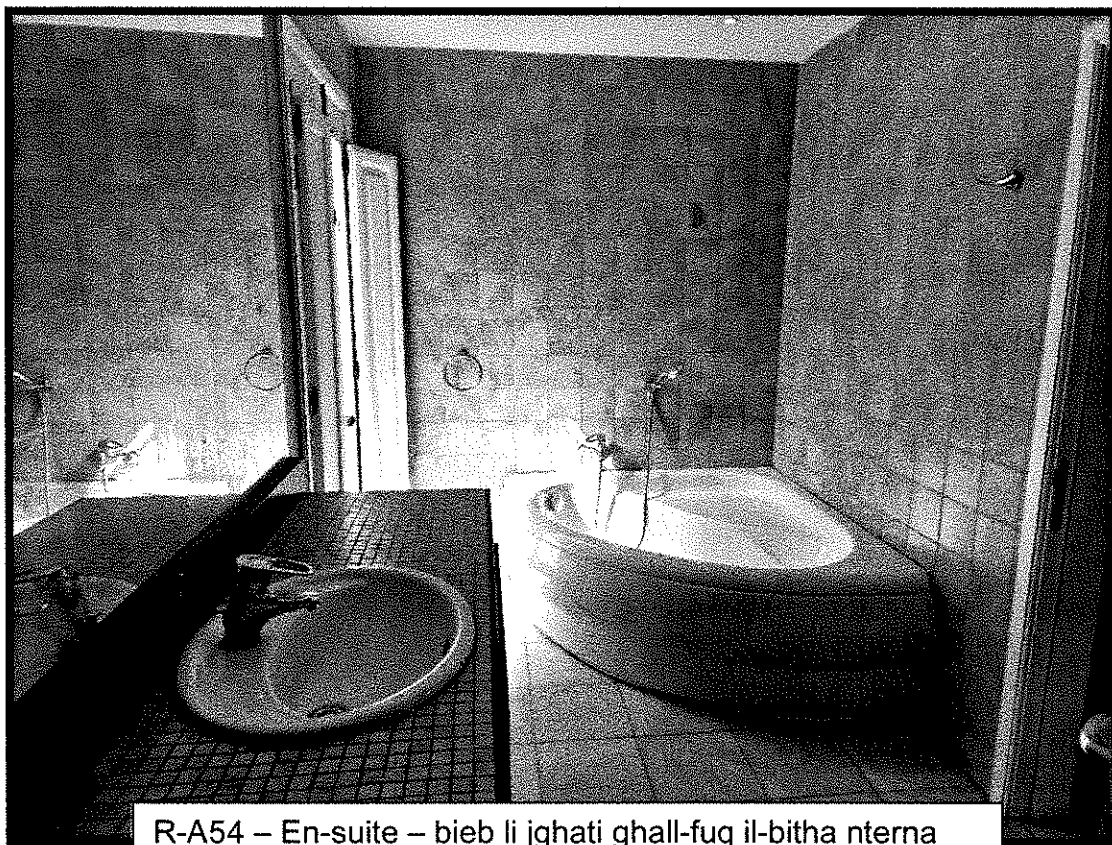
R-A52 – En-suite magenb il-kamra tas-sodda fuq wara tal-ewwel sular

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A53 – En-suite magenb il-kamra tas-sodda fuq wara tal-ewwel sular

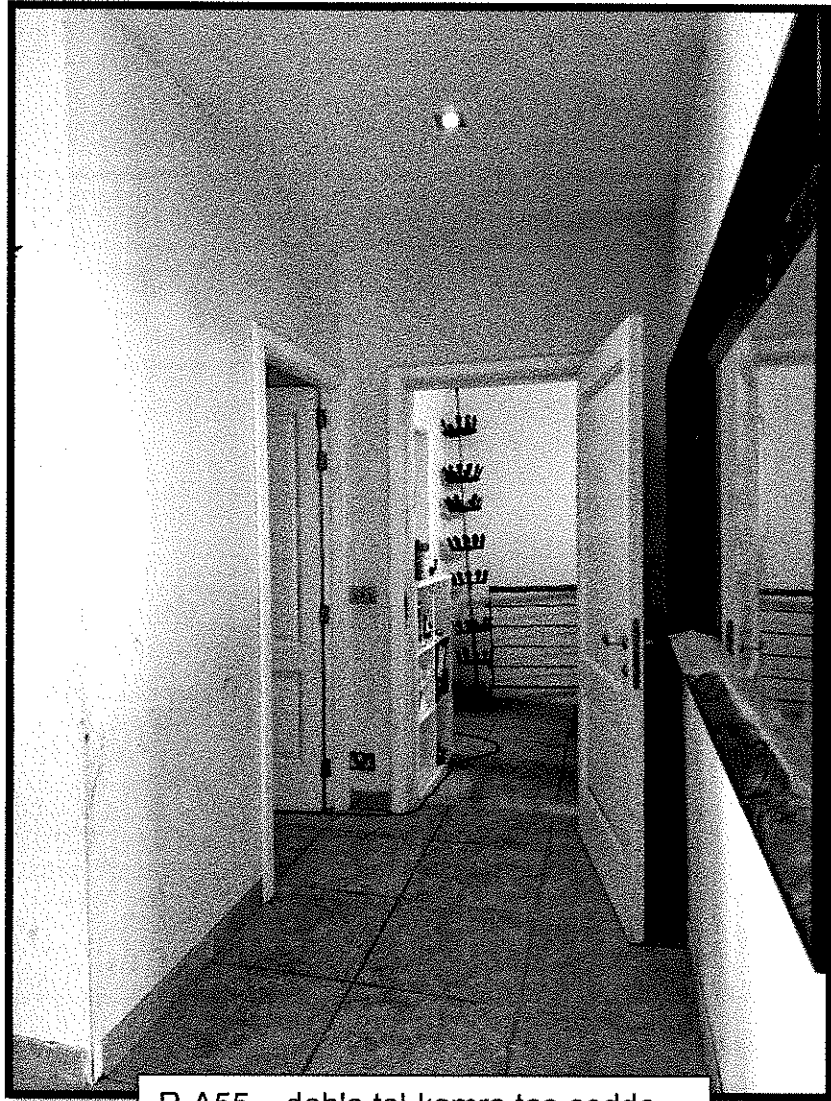


R-A54 – En-suite – bieb li jghati għall-fuq il-bitha nterna



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-A55 – dahla tal-kamra tas-sodda

Subbasta nru. 1/19

**Application Status Application Status (Does not reflect any Appeals Decisions on the case)**

Case Status Decided - Approved

**Application Details**

Case Number: RG/02126/17

Location of development: 25, Triq Castro, Naxxar, Malta

Description of works: To regularise townhouse and garage as built.

Current Applicant: Josephine Farrugia

Current Architect: Perit Justin Spiteri

Reception date: 07 June 2017

Publication Date: 31 January 2018

Representation Expiry  
Date: 02 March 2018

**Recommendation**

Endorsement Concluded  
Date: 09 March 2018

Recommendation: Recommended for Approval

Commission Agenda Date: 04 April 2018

**Decision**

Decision: Grant Permission

Decision Date: 04 April 2018

Decision Press date: 18 April 2018

Decision posted date: 05 April 2018

**Decision Notice**

**Fig. H - A01 – Dettalji dwar l-applikazzjoni biex tigi regolarizzata l-binja**

Ms. Josephine Farrugia  
Lankea  
Triq Santa Margerita  
San Gwann SGN 1676

Date: 05 April 2018  
Our Ref: RG/02126/17

Application Number: **RG/02126/17**  
Application Type: Regularisation of Development Inside Development Zone (which may include CTB Concession)  
Date Received: 07 June 2017  
Approved Documents: RG 2126/17/1B/5B/5C/5D/5E  
  
Location: 25, Triq Castro, Naxxar, Malta  
Proposal: To regularise townhouse and garage as built.

### Development Planning Act, 2016 Regularisation Permission

The Planning Authority hereby grants regularisation permission in accordance with the application and documents described above, subject to the following conditions:

1.
  - a) In terms of Article 72(3) of the Development Planning Act (2016), the execution and validity of this permission are automatically temporarily suspended and the development permission may not be utilised before the lapse of the time period established in Article 13 of the Environment and Planning Review Tribunal Act and, subsequently, will remain so suspended if the Tribunal so decides in accordance with the Environment and Planning Review Tribunal Act.
  - b) This development permission is valid for a period of FIVE YEARS from the date of publication of the decision in the press but will cease to be valid if the permission is not utilised by the end of this validity period.
  - c) A Commencement Notice is to be submitted to the Planning Authority, by the *perit* on behalf of the applicant, at least FIVE DAYS prior to the date of utilisation of the permission. **If the applicant fails to submit the Commencement Notice or the Commencement Notice submitted is invalid, the relative permission shall be considered as never having been utilised - Article 72(4) of the Development**

Planning Act (2016).

d) This regularisation permission relates only to the development as specifically indicated on the approved drawings. This permission does not regularise any other illegal development that may exist on the site, nor does it grant any consent whatsoever to carry out any further development.

e) Where the approved drawings and/or documents are dimensioned, then the declared dimensions shall prevail over the actual size as depicted on the approved drawings and/or documents.

f) If the declaration of ownership, as contained in the application form, is determined as incorrect by a Court of Law, then the said Court of Law can declare this regularisation permission as null and void.

g) This regularisation permission does not remove or replace the need to obtain the consent of the land/building owner to this development. Furthermore, it does not imply that consent will necessarily be forthcoming nor does it bind the land/building owner to agree to this development. Where the land/building is owned or administered by the Government of Malta, a specific clearance and agreement must be obtained for this development from the Commissioner of Land and/or Government Property Department.

h) This regularisation permission is granted saving third party rights and shall not be deemed to confer any proprietary rights or any title whatsoever over the existing development to which the same permission relates.

i) This regularisation permission does not exonerate the applicant from obtaining any other necessary permission, license, clearance or approval required from any Government department, local council, agency or authority, as required by any law or regulation.

j) If the development hereby approved is modified (i.e. altered, extended, removed or redeveloped), the eventual development on site must conform to all the plans, policies and regulations applicable at that time.

k) This regularisation permission does not authorise any storage of substances listed in the Occupational Health and Safety Authority (Cap. 424) – Control of Major Accident Hazards Regulations, 2003, as amended, in quantities that would render this site an establishment within the scope of these regulations. The storage and handling of said substances may require a new development permission in line with current policies and regulations.

l) For any non-residential uses hereby being approved, or any eventual permitted change of use, the applicant shall be required to contact the Environment and Resources Authority to obtain any necessary operational permit or registration. This requirement does not apply to Class 2B, 2C, 4A and 4B uses as listed in the Development Planning (Use Classes) Order 2014, or its subsequent amendments.

m) The applicant is required to comply with any obligations emanating from any other relevant legislation, codes or standards.

2. The garage shall only be used for the parking of private vehicles excluding heavy good vehicles.

3. Any replacement of the wrought iron railings on the facade in the future shall be carried out utilising solid masonry wall.

Where the approved drawings and/or documents are dimensioned, then the declared dimensions shall prevail over the actual size as depicted on the approved drawings and/or documents.

If the declaration of ownership, as contained in the application form, is determined as incorrect by a Court of Law, then the said Court of Law can declare this regularisation permission as null and void. This regularisation permission is granted saving third party rights. This permission does not exonerate the applicant from obtaining any other necessary permission, license, clearance or approval required from any Government department, local council, agency or authority, as required by any law or regulation.

This regularisation permit does not authorise any storage of substances listed in Occupational Health and Safety Authority (Cap. 424) – Control of Major Accident Hazards Regulations, 2003, as amended, in quantities that would render this site an establishment within scope of these regulations. The storage and handling of said substances may require a new development permission in line with current policies and regulations.

For any non-residential uses hereby being approved, or any eventual permitted change of use, the applicant shall be required to contact the Environment and Resources Authority to obtain any necessary operational permit or registration. This requirement does not apply to Class 2B, 2C, 4A and 4B uses as listed in the Development Planning (Use Classes) Order 2014, or its subsequent amendments.

***This decision is being published on 18 April 2018.***

Claudine Faure  
Secretary Planning Commission (Regularisation Permissions)

RG/02126/17



## **Notes to Applicant and Perit**

### **Right for appeal**

You have a right to submit an appeal, against the decision, to the Environment and Planning Review Tribunal in terms of Article 13 of the Environment and Planning Review Tribunal Act, 2016.

### **Time limits**

Requests for appeals must be made within 30 days from the publication of the decision notification in the local press as required by regulation 14(1) of Legal Notice 162 of 2016, Regulation 77 of Development Act and Regulation 5(5) of LN285 of 16.

### **Fees to submit a request for appeal**

A fee is to be paid which should accompany the request for the appeal. The fee is calculated as follows:

For appeal - 5% of DPF (Development Permit Fee) paid in respect of the original application, subject to a minimum of €150 + €50 administrative fee (LN 112 of 2016).

### **Submission of request for appeal**

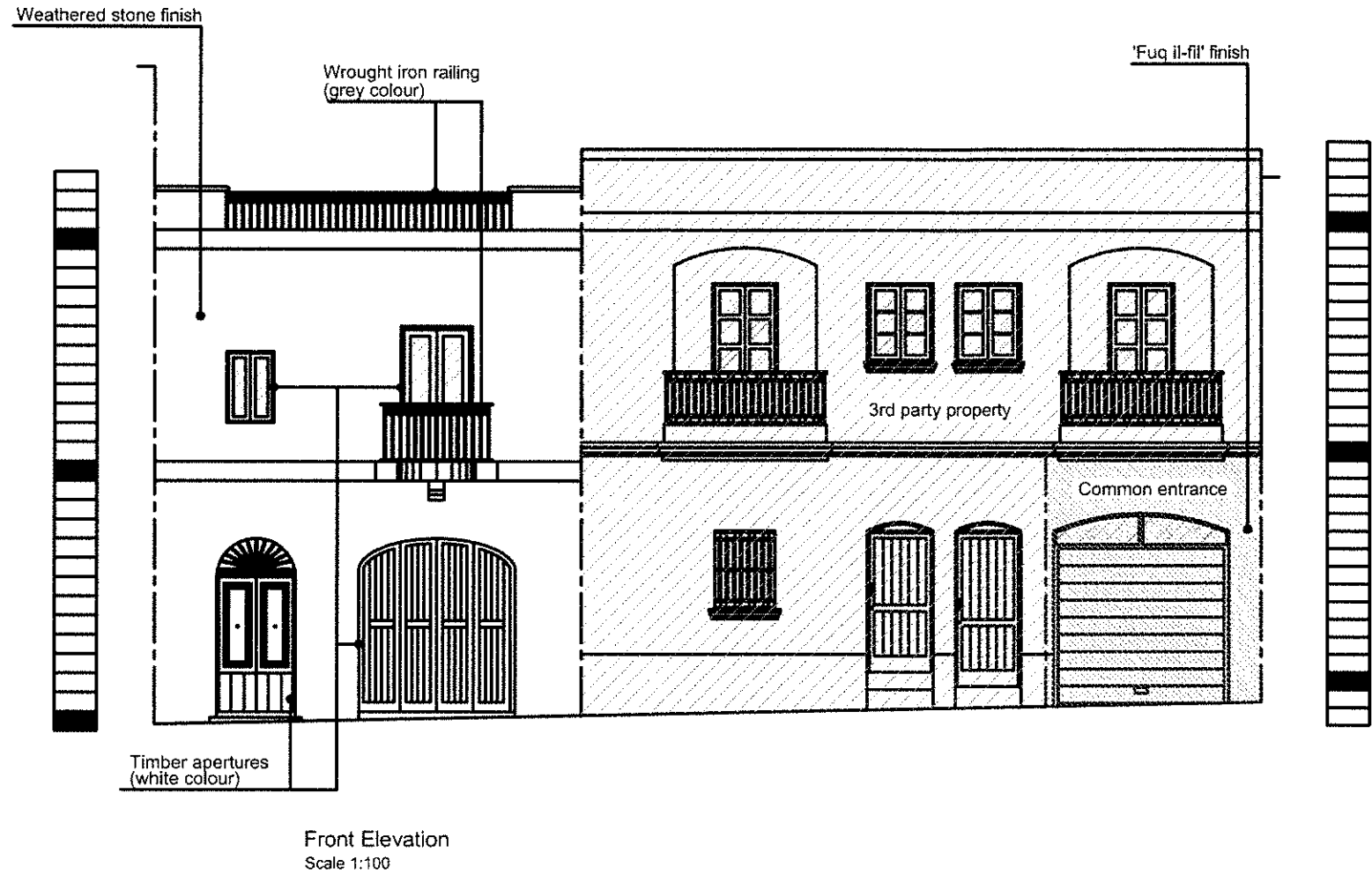
With regards to appeal request, as required by Article 13 of the Environment and Planning Review Tribunal Act, 2016, the submission must include the detailed grounds for appeal and the requests being made by the appellant. Appeals must be submitted physically at the offices of the Environment and Planning Review Tribunal, St. Francis Ditch, Floriana.

-DocRGDCNEndorsed-

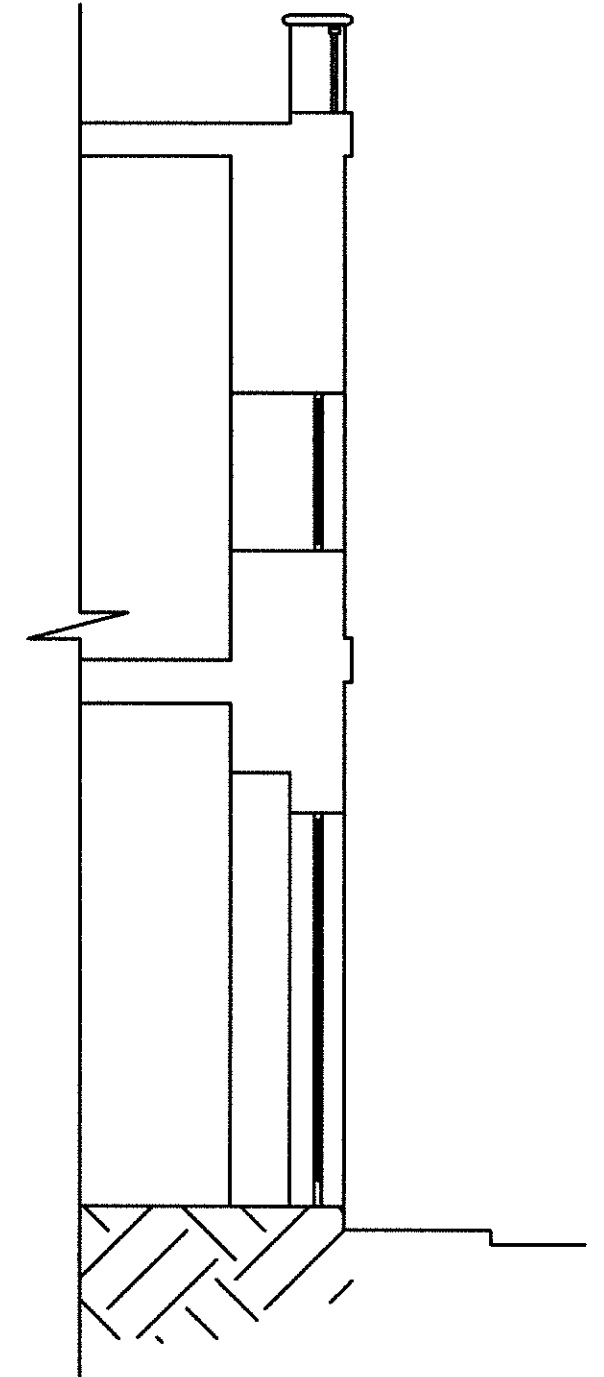








Front Elevation  
Scale 1:100



Section Through Elevation  
Scale 1:50

revisions			
ref	date	by	description
1	21-9-2017		

issue	
	DRAFT
	FOR INFORMATION ONLY
	FOR PLANNING PURPOSES
	FOR CONSTRUCTION PURPOSES
notes	

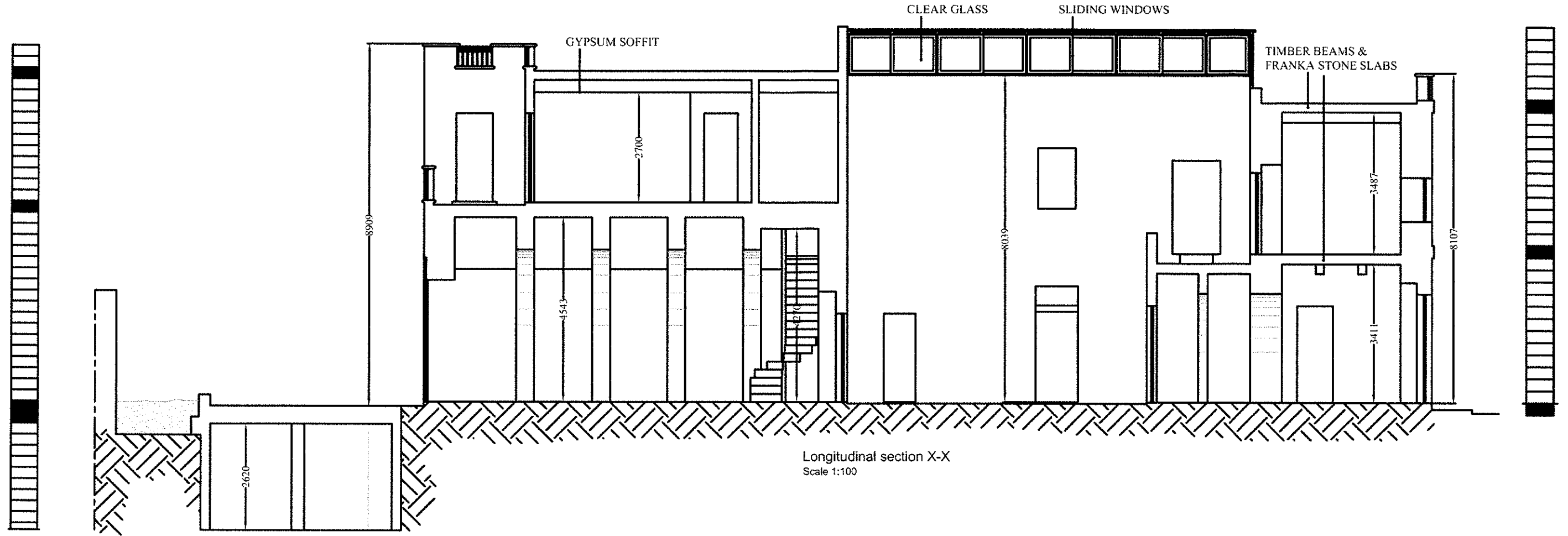
legend

project	25, Triq Castro, Naxxar.
client	Mr. Daniel Farrugia
drawing	Existing Front Elevations & Section
file no.	36/17
drawing no.	3 of 4

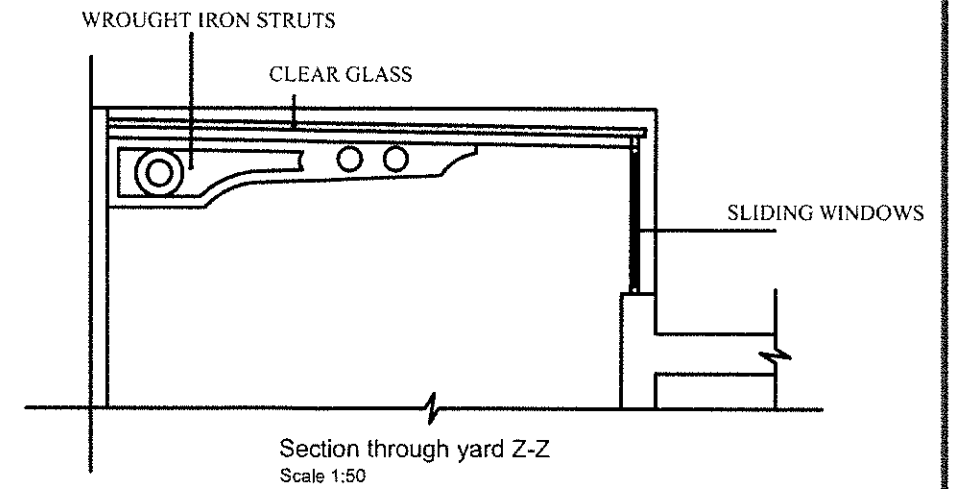
drawn	justin spiteri
architect	justin spiteri
date	28-1-2017
scale	as shown

**JS** ARCHITECTURE & DESIGN

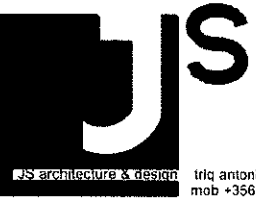
JS architecture & design triq antonio bosio hal balzan bzn 1145 malla mob +356 79056074 email: info@jsarchitecture.net



Longitudinal section X-X  
Scale 1:100



Section through yard Z-Z  
Scale 1:50

<b>revisions</b> ref. date by description		<b>issue</b> <div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> <span>DRAFT</span> </div> <div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px; background-color: #cccccc;"></div> <span>FOR INFORMATION ONLY</span> </div> <div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px; background-color: #333333;"></div> <span>FOR PLANNING PURPOSES</span> </div> <div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px; background-color: #999999;"></div> <span>FOR CONSTRUCTION PURPOSES</span> </div>	<b>legend</b>	project <b>25, Triq Castro, Naxxar.</b>	drawn <b>justin spiteri</b>	 <small>J&amp;S architecture &amp; design triq antonio bosio hal balzan bzn 1145 malla mob +356 79056074 email: info@jarchitecture.net</small>
20 - 9 - 2017	client <b>Mr. Daniel Farrugia</b>			architect <b>justin spiteri</b>		
<b>notes</b>	drawing <b>Existing section + Section through yard</b>	date <b>8 - 4 - 2017</b>				
	file no. <b>36/17</b> drawing no. <b>4 of 4</b>	scale <b>as shown</b>				

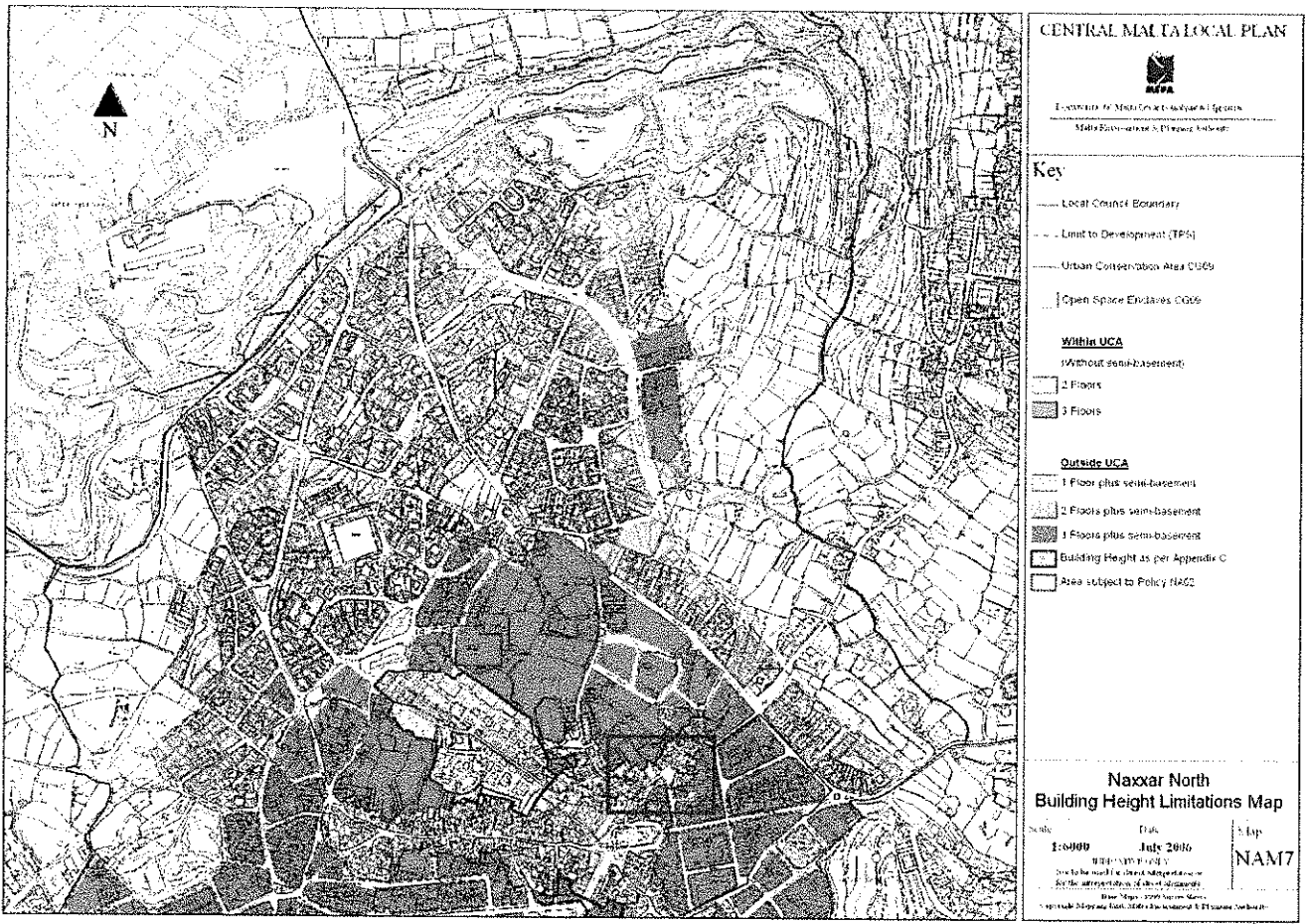
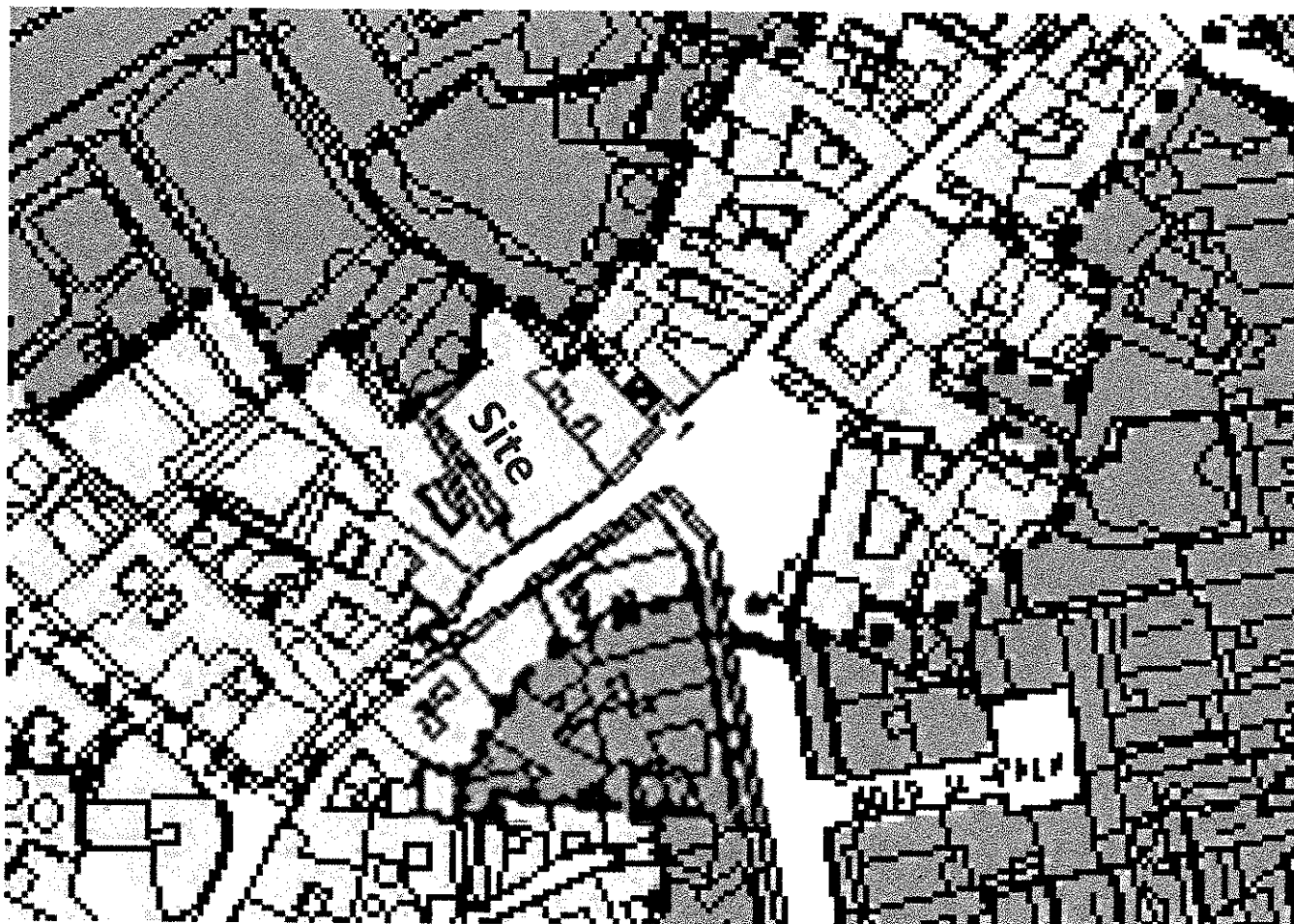


Fig. I - A01 – Estratt mill-Pjan Lokali Tac-Centru Ta' Malta – Pjanta NAM7



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



**Fig. I - A02 – Estratt mill-Pjan Lokali Tac-Centru Ta' Malta – Pjanta NAM7 - Dettall**

# QORTI CIVILI TA' MALTA

Subbasta nru. 1/19

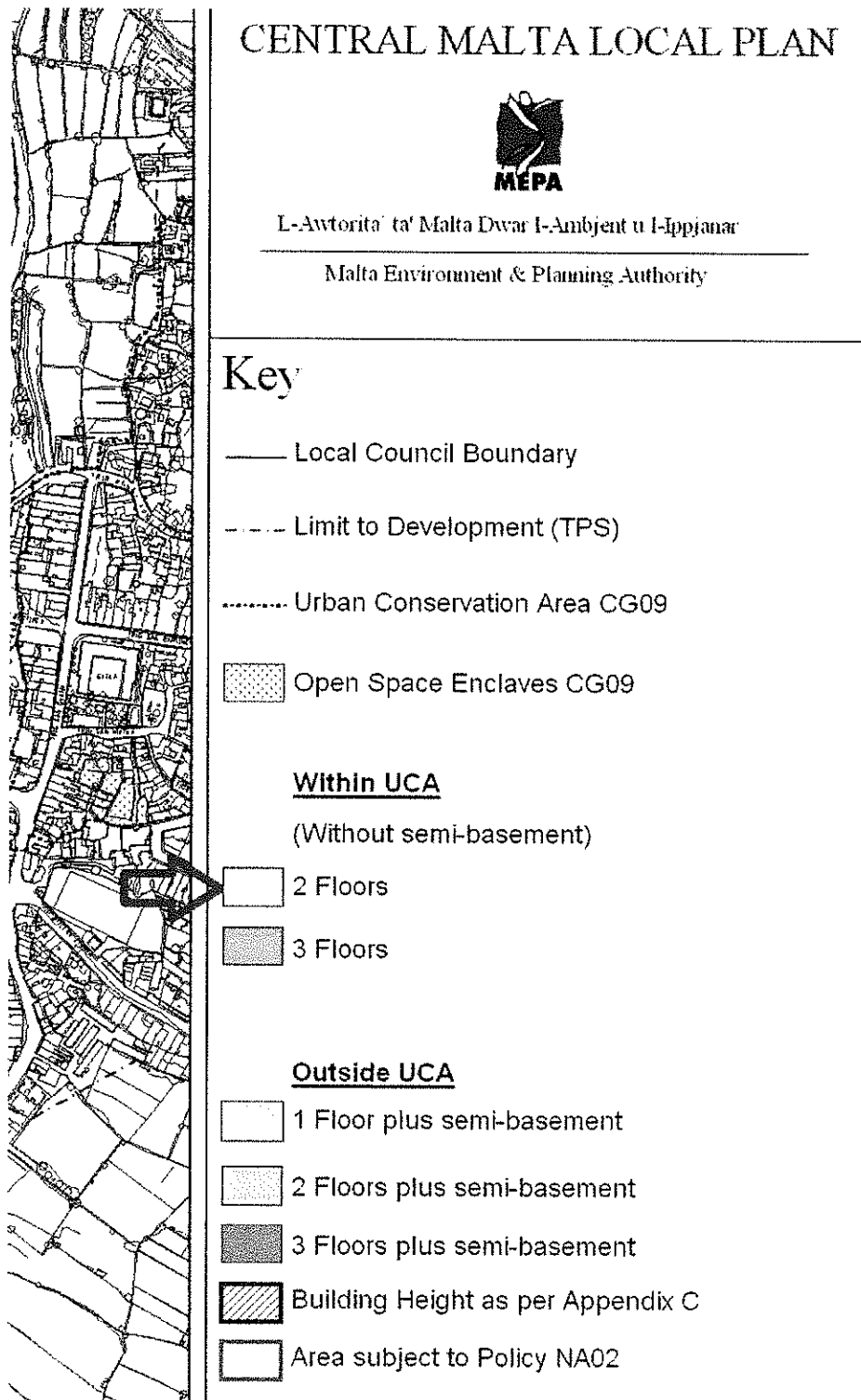
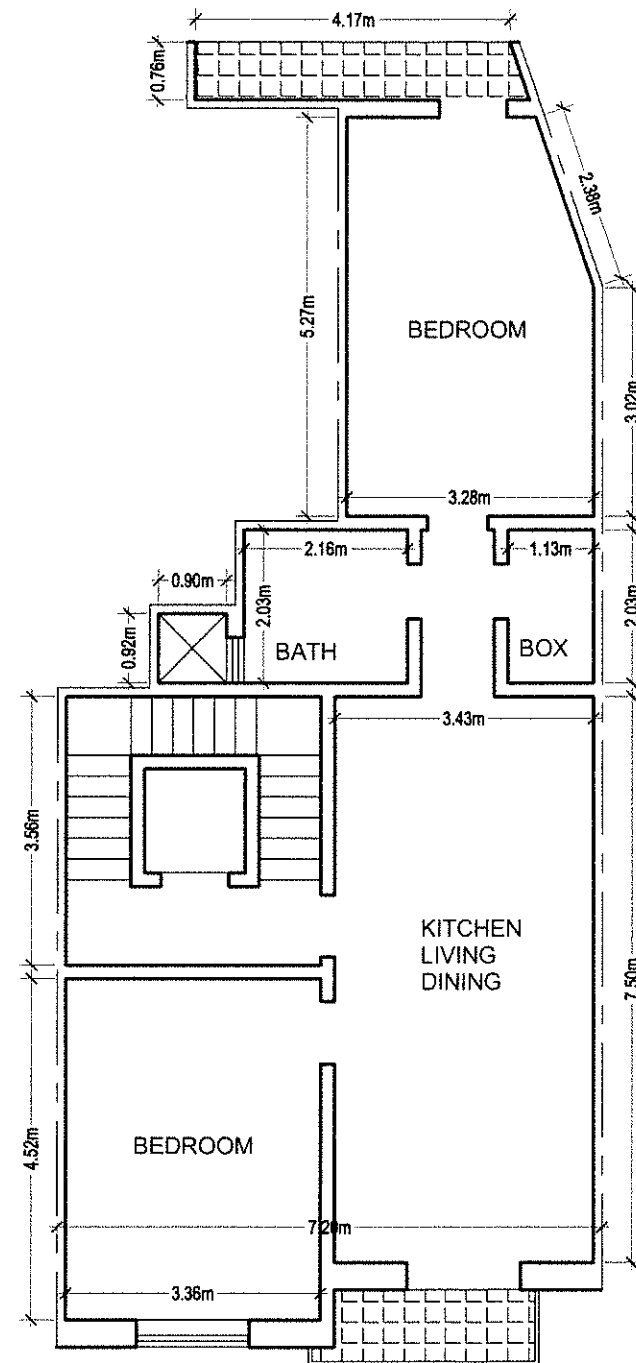


Fig. I - A03 – Pjan Lokali Tac-Centru Ta' Malta – Pjanta NAM7 – dettall gholi tal-bini







EXISTING THIRD FLOOR PLAN  
SCALE: 1:100

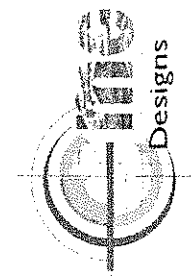
APPROVED FOR CONSTRUCTION  
DATE: 13/06/23  
PERIT MARVIN ELLUL  
Architect and Civil Engineer

- To construct
- To demolish
- As approved but not constructed
- As Built

Drawn by EB	Checked by EM	File Number ME 19017 - B
Drawing Number <b>19017- B-01</b>		Revision <b>0</b>
		Scale 1:100
		Date 13/06/23

Client SUBBASTI
Site Location APARTMENT 6, 'PRYSMA APARTMENTS', TRIO IL-GHABEX, SAN PAWL IL-BAHAR

Project Title PLANS OF EXISTING PROPERTY
Drawing Title LAYOUT PLAN OF THIRD FLOOR LEVEL



**PERIT MARVIN ELLUL**  
Architect and Civil Engineer  
2, Norton Mansions,  
Triq Ta' L-Iklin, Ghaxaq.  
Tel: 21654041  
Fax: 21677243  
Mob: 7949 0514  
email: peritmellul@gmail.com  
Warrant No. 402

Subbasta nru. 1/19



R- B01 – Faccata tal-binja minn quddiem



R-B02 – Faccata tal-propjeta mil-lemin



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B03 – Faccata tal-binja mix-xellug



R- B04 – Dahla komuni - Triq il-Ghabex



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B07 – Gallarija Ta' Quddiem



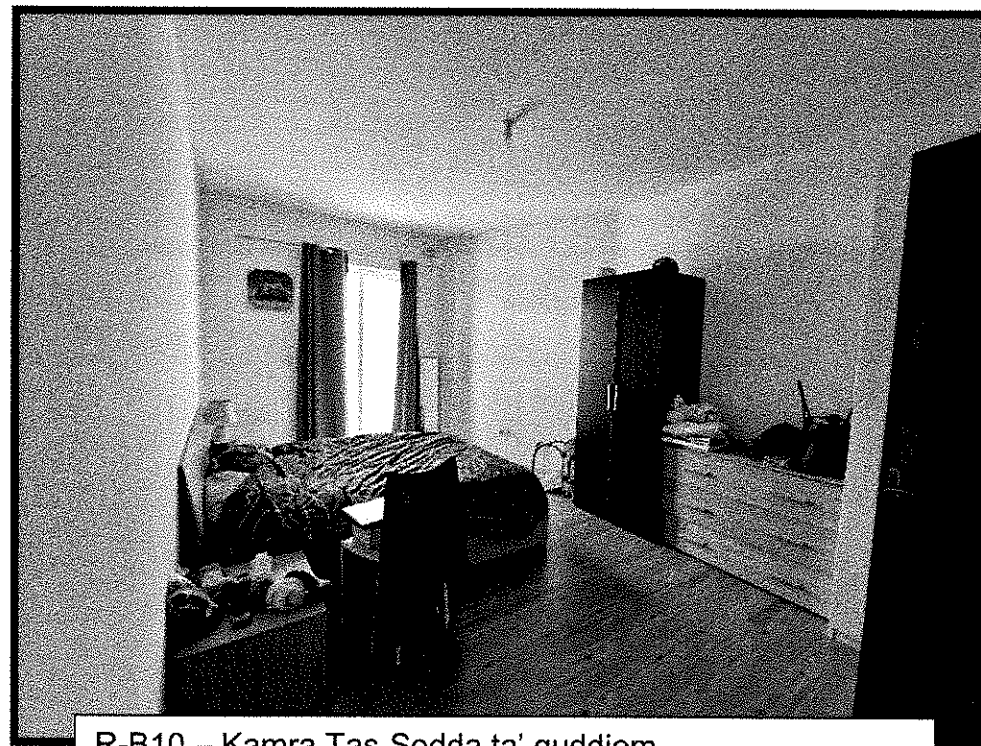
R-B08 – Dettall – Aperturi esterni - Aluminium

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B09 – dettal bibien interni



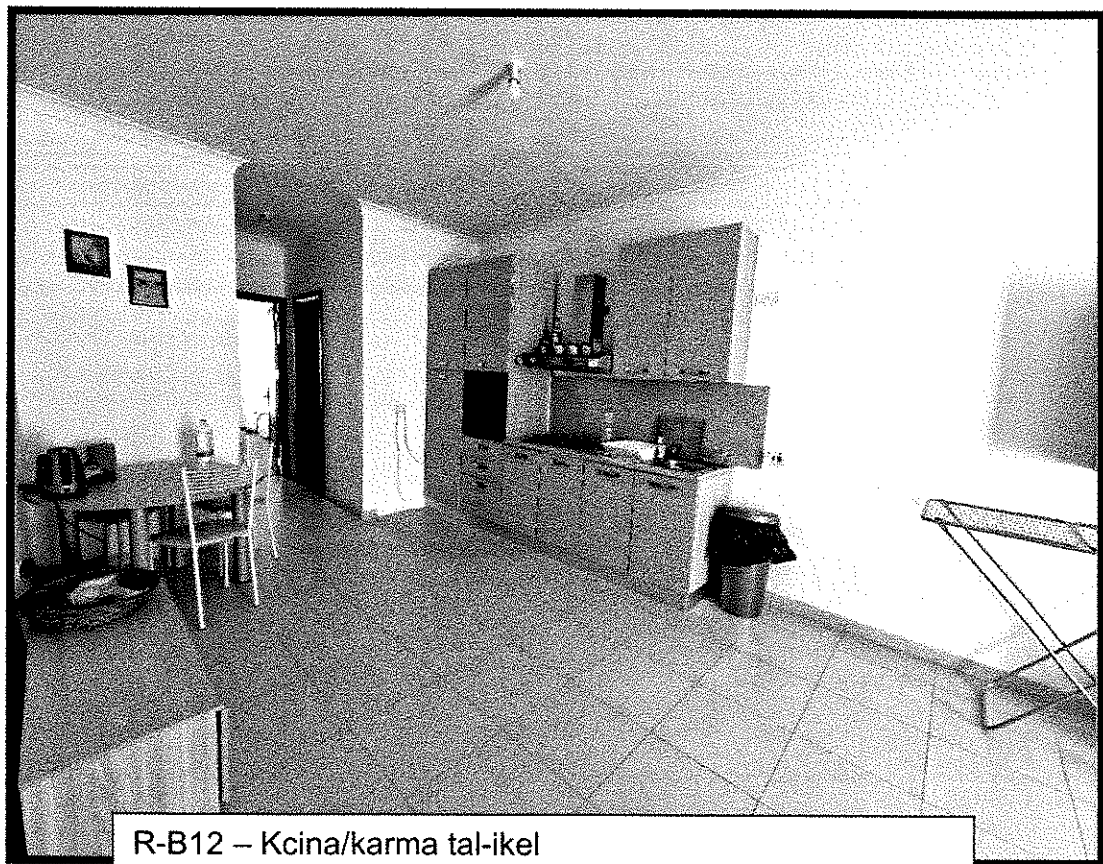
R-B10 – Kamra Tas-Sodda ta' quddiem

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B11 – Kcina / open plan



R-B12 – Kcina/karma tal-ikel



**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B13 – Salott



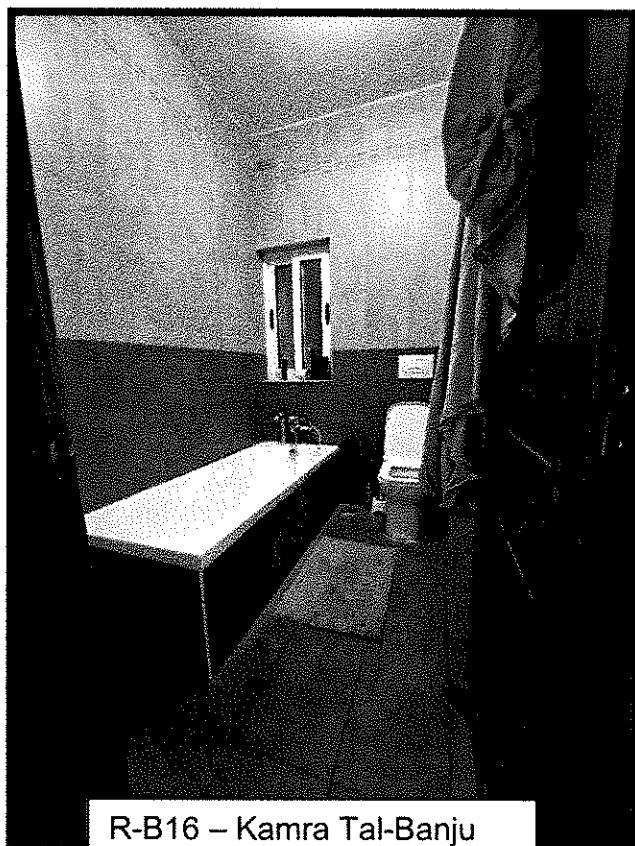
R-B14 – Ritratt entratura tal-propjeta / open plan

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B15 – Kuritur



R-B16 – Kamra Tal-Banju



R-B17 – Kamra tal-banju



R-B18 – Box-room

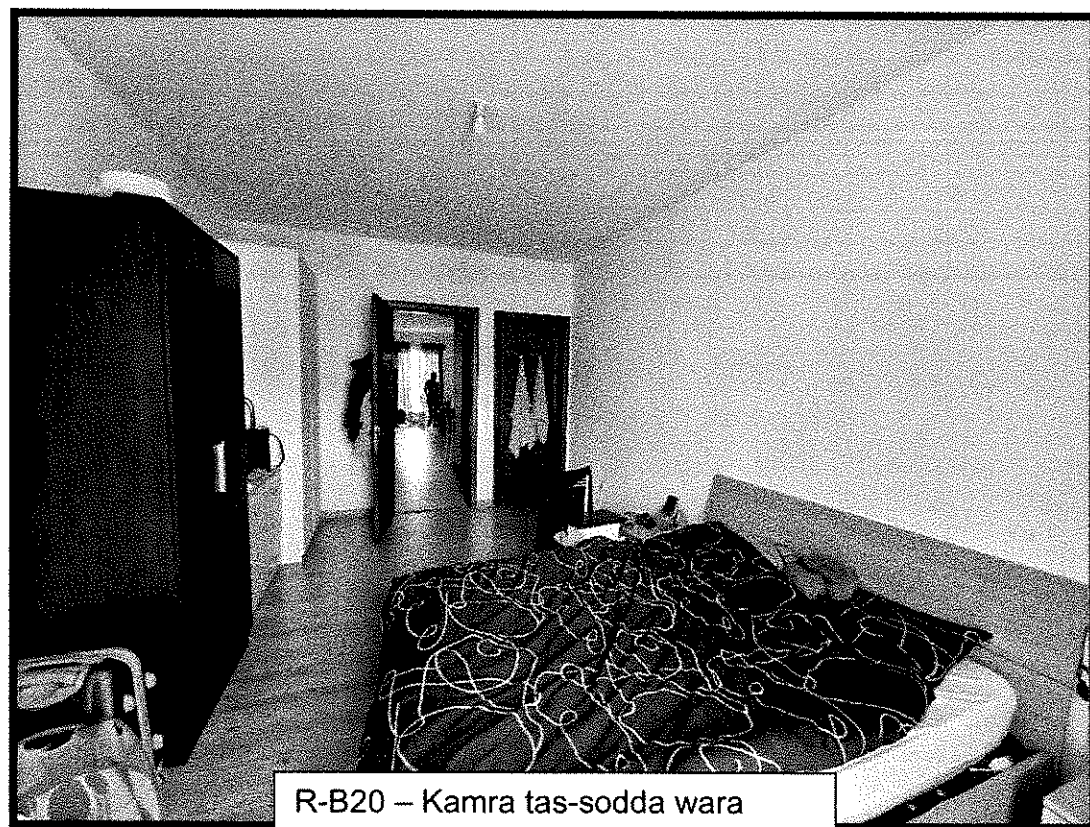


**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B19 – Kamra Tas-sodda wara



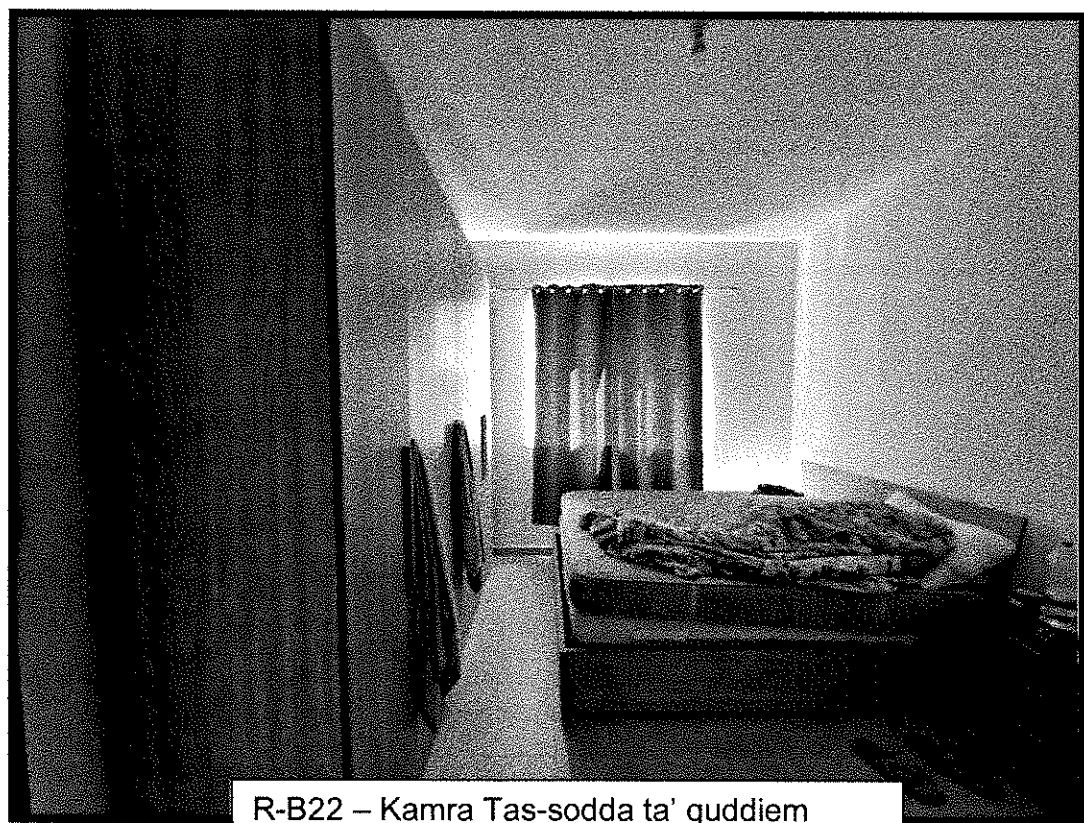
R-B20 – Kamra tas-sodda wara

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



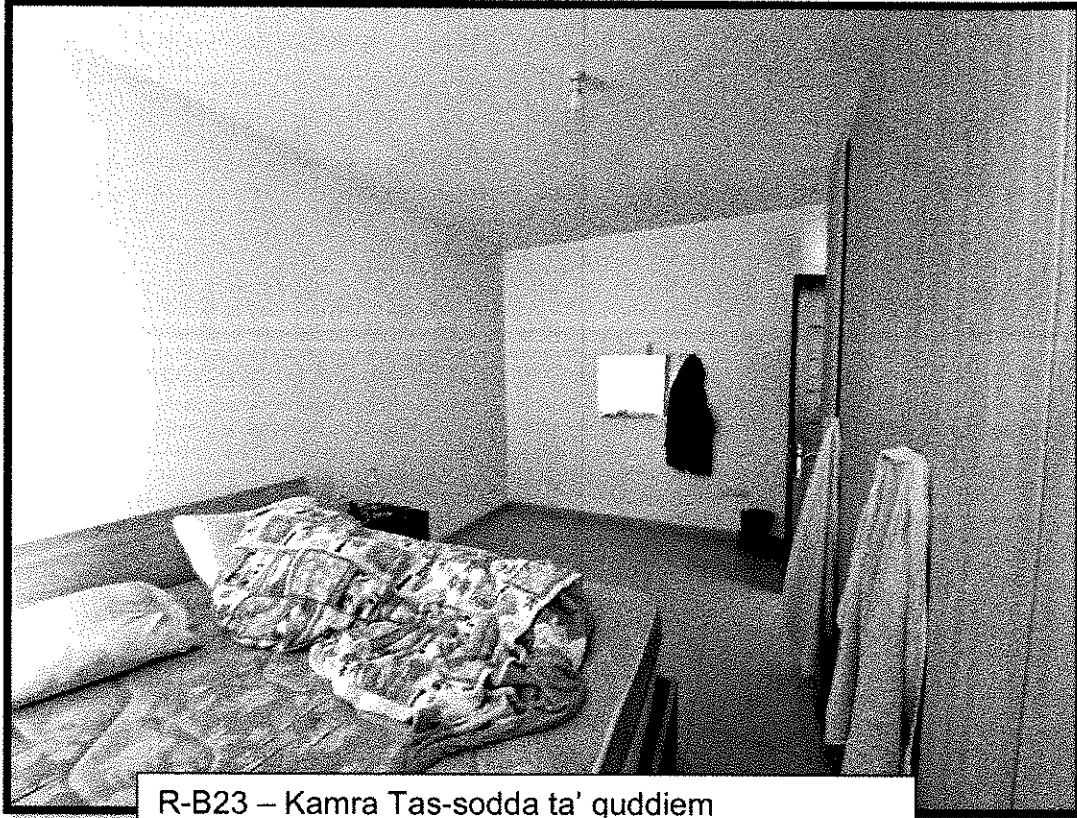
R-B21 – Gallarija ta' wara



R-B22 – Kamra Tas-sodda ta' quddiem

**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



R-B23 – Kamra Tas-sodda ta' quddiem



R-B24 – Entratura tal-Propjeta

**Application Status (Does not reflect any appeal decisions on the case)**

**Case Status:** This application has been approved by Planning Board Administration.

**Application Details**

**Case Number:** PA/00333/10  
**Location of development:** Plot 1, Curlew & Mays Road, Tigné, St. Andrew, San Rocco, Gozo  
**Description of works:** To demolish existing building and construct garages and apartments.  
**Current Applicant:** Mr. Mark D. Davelos  
**Current Architect:** Peris D. D'Amico  
**Reception date:** 27 February 2010

**Initial Processing**

**Validation Date:** 17 February 2010  
**Target Date:** 25 October 2010  
**Application Type:** Full development permission  
**Case Category:** Within Development Order

**Publication**

**Site Notice Image:**   
**Publication Date:** 04 March 2010  
**Representation Expiry Date:** 21 March 2010




**Recommendation**

**Recommended Decision:** Grant Permission  
**Case Officer Report:**  [View Case Officer Report](#)  
**Report Last Updated:** 12 November 2010

**Decision**

**Decision:** Grant Permission  
**Decision Date:** 26 November 2010  
**Decision Press date:** 23 February 2011  
**Decision posted date:** 01 February 2011  
**Decision Notice:**  [View Decision Notice](#)  
**Permit Expiry Date:** 24 January 2015

**Further Information**

**Initial Setting Out Concluded:**  12 April 2011  
**Final Setting Out Concluded:**  12 April 2011  
**Board Minutes:**  [View Board Minutes](#)

**Fig. N-B01 – Dettalji dwar l-applikazzjoni sabiex tigi zviluppata l-binja**

17

Dok. N-1

Section:  
Board No.:

**APPLICATION No.** PA/00337/10

**1. Application Details:**

Applicable Policy: DC2007  
Press Date: 6 March 2010  
Application Type: Full development permission

Applicant: Mr Maurizio Cavallaro  
Architect: Mr. David Psaila

Drawing Numbers: PA 337/10/ 1B/ 1E/ 1F/ 1G/ 1H/ 1I/ 1J

Proposal: To demolish existing building and construct garages and apartments  
Location: Rita, Carmen & May-Year Flats, Triq Il-Ghabex, San Pawl Il-Bahar

**2. Representations:**

None.

**3. Notes To Committee:**

- 3.1 Bank Guarantee (Environmental Management Construction Site Regulations) applies.
- 3.2 File PA 5879/98 is attached.

**4. Case Officer's Report:**

**4.1 SUMMARY OF ISSUES**

The proposed development is **acceptable** since the demolition is acceptable and the proposal complies with the height limitation, car parking requirements, design considerations, and DC2007 Policies.

**4.2 PROPOSAL**

This full development permission application proposes the demolition of an existing building and construction of garages and apartments - see drawings 1E, 1F, 1G, 1H, 1I, 1J. The proposed



#### 4.3 SITE DESCRIPTION

The site is located within the limits to development - see site plan 1B. The site consists of an existing three storey building covering an area of approximately 213 square metres with a 10.7 metres elevation overlooking Triq L-Ghabex in St.Paul's Bay.

The area is characterised with residential development - see photos on document 1A.

#### 4.4 SITE HISTORY

Permission PA 5879/98 was issued on the 10<sup>th</sup> November 1998 to carry out alterations to facade - see copy of permission at document 8 in attached file.

#### 4.5 POLICY CONTEXT

The relevant policy documents are:

- Structure Plan, 1990.
- North West Local Plan, 2006.
- DC 2007.

-- *Structure Plan Policies*

BEN 2 - requires good urban design.

TRA 4 - parking requirements.

-- *North West Local Plan*

Map 40 - designates site as Residential area.

Map 42 - designates site with 5 floors.

Policy NWUS 3.

#### 4.6 CONSULTATIONS

The Enemalta division stated – document 11 – that a load breakdown carried out by a qualified engineer is required. A load breakdown was submitted on 31<sup>st</sup> May, and consultation with Enemalta was carried out again; however no reply from Enemalta has been received to date.

#### 4.7 DISCUSSION

-- *Demolition of building*

The building to be demolished does not have any particular features which are worthy of retention.

The proposed use as a Class 1 conforms to the zoning of the area as a residential area. Policy NWUS 3 of the Local Plan identifies the proposed Class 1 Use as an acceptable use.

*-- Semi-basement garages*

The garages at semi-basement level are in line with policy 4.11 and policy 6.8 of the Policy and Design Guidance 2007 in terms of ramp gradient and garage door openings, respectively.

*-- Dwelling Units*

The proposed dwelling units two on each of the ground, first, second, third and fourth floor level conform to policy 3.7 of the Policy and Design Guidance 2007 in terms of minimum gross floor area. They are also in line with Policy 12.2 of the Policy and Design Guidance 2007 in view that they have adequate residential amenity and outlook onto the public street.

*-- Duplex units*

Policy 10.8 of the Policy and Design Guidance 2007 approves the construction of rooms at roof level as a duplex with the underlying residential unit, provided that all the criteria set in policy 10.6 are complied with. The proposed rooms at roof level (linked with the fourth floor level) are adequately setback. In view of this the proposal conforms to policy 10.8 of the Policy and Design Guidance 2007.

*-- Height limitation*

The Local Plan designates the height limitation for the area as 5 floors plus semi-basement. The proposal is for a 5 storey building plus semi-basement. The height limitation is being complied with.

*-- Design*

The design of the elevation is considered to be acceptable and in context with the streetscape within which the site is located. The proposal thus complies with SP Policy BEN 2. The proposed balconies and projecting rooms conform to policy 7.2 and 11.5 in terms of projection and distance from party wall.

*-- Car parking*

The proposed development consists of 10 apartments (two of which are duplex units) and therefore requires 10 car parking spaces. However, considering that no parking was not provided for the existing 6 dwelling units the proposal required 4 car parking spaces (10 – the number of existing dwelling units), these are being provided at the garages at semi-basement level. The proposal satisfies the car parking requirements specified by SP Policy TRA 4.

*-- General Design Considerations*



The staircase and the lift shaft conform to policies 10.3 and 10.9 of the Policy and Design Guidance 2007.

The proposed services at roof level conform to policy 13.5 of the Policy and Design Guidance 2007.

#### 4.8 COMMUNICATION WITH ARCHITECT/APPLICANT

Architect was requested to submit a load break down; this was submitted on 31<sup>st</sup> May (doc 14).

#### 4.9 CONCLUSION

In view of the above comments, the application is being recommended for approval.

#### 5. Recommendation: GRANT - subject to the following conditions:

- 1 The garage shall only be used for the parking of private cars.
- 2 The ramp leading down to the underlying basement garage shall at no point be steeper than 1:5. The ramp shall be so formed that it does not encroach onto the pavement.
- 3 The balconies shall not project more than 1 metre from the facade of the building in accordance with DC 2007 Policy 7.2.
- 4 The balconies shall be located so that its side outer face is at least 0.75 metres away from the outer face of the party wall nearest to the balcony.
- 5 The projecting rooms shall not project more than 0.75 metres from the facade of the building in line with DC 2007 policy 11.5.
- 6 In accordance with DC2007 policy 10.8, the receded floor shall be set back by at least 4.25 metres from the front facade and by 1.5 metres from the back of the building. The external height of the receded floor shall not exceed 3.4 metres above roof level. The canopy at roof level shall project by not more than 1 metre, shall be cantilevered, and shall remain open from the sides and the front without any support on party walls and/or pillars.
- 7 All services located on the roof of the receded floor shall be clustered together and surrounded by a 1.5 metres high non-solid screen. The services shall not exceed the height of this screen, which shall be set back 2 metres from the front and back edges of the roof of the underlying receded floor.

- 8 The lift shaft shall be set back by at least 4.25 metres from the front elevation and shall not exceed the height of 1.5 metres above the finished roof level of the receded floor measured externally in accordance with DC 2007 Policy 10.9.
- 9 Air conditioning units shall not be located on the facades of the building which are visible from a public space. Any such units located at roof level shall be set back from the facade by at least 1 metre.
- 10 There shall be no service pipes, cables or wires visible on the front elevation or on any other elevations of the building which are visible from the street.
- 11
- a) This development permission is valid for a period of FIVE YEARS from the date of this notice but will cease to be valid if the development is not completed by the end of this five year period.
  - b) It should be noted that a third party may have the right of appeal against this permission. Any development which is carried out when such an appeal has been made, or until the time limit for the submission of such an appeal has expired, is undertaken at the risk that this permission may be revoked by the Planning Appeals Board or quashed by the Court of Appeal.
  - c) This development permission does not remove or replace the need to obtain the consent of the land/building owner to this development before it is carried out. Furthermore, it does not imply that consent will necessarily be forthcoming nor does it bind the land/building owner to agree to this development. Where the land/building is owned or administered by the Government of Malta a specific clearance and agreement must be obtained for this development from the Land and/or Estate Management Departments.
  - d) All works shall be carried out strictly in accordance with the approved plans and the conditions of this permission. Where a matter is not specified on the plans then the conditions of this permission and of Development Control Policy and Design Guidance shall take precedence and modify the plans accordingly.
  - e) All building works shall be erected in accordance with the official alignment and proposed/existing finished road levels as set out on site by the Malta Environment & Planning Authority's Land Surveyor. The Setting Out Request Notice must be returned to the Land Survey Unit of the Malta Environment & Planning Authority when the setting out of the alignment and levels is required.
  - f) Before any part of the development hereby permitted commences, the enclosed green copy of the Development Permit shall be displayed on the site. This must be mounted on a notice board, suitably protected from the weather and located not more than 2 metres above ground level at a point on the site boundary where it is clearly visible and can be easily read from the street. The copy of the permit must be maintained in a good condition and it shall remain displayed on the site until the works are complete.
  - g) The enclosed Commencement Notice shall be returned to the Malta Environment & Planning Authority so that it is received at least five days

prior to the commencement of the development hereby permitted.

h) Copies of all approved plans and elevations shall be available for inspection on site by Malta Environment & Planning Authority staff at all reasonable times.

i) Where the street bordering the site is unopened, it shall be opened up prior to the commencement of the building operations hereby permitted.

j) Where applicable hoarding should be erected in accordance with Schedule 2 of the Environmental Management Construction Site Regulations, LN 295 of 2007.

k) No building material, waste material, machinery or plant shall obstruct the pavement or the smooth flow of traffic on the road in the vicinity of the site. The deposit of materials or the placing of equipment in the street must be authorised by the Police.

l) Any soil on the site shall not be built over but shall be collected for reuse. A permit from the Director of Agriculture is required to remove the soil from the site. All soil shall be deposited at the place indicated by the Director of Agriculture.

m) Rock spoil, boulders and other waste materials resulting from excavations or from demolition on this site shall be deposited at an official waste disposal site or used as fill material. If waste materials from the development are not to be reused, they shall not be disposed of other than at an official waste disposal site. A permit from the Environmental Protection Directorate is required to this effect.

n) The height of the building shall not exceed the permitted number of 5 floors *and receded floor* (plus the underlying *semi-basement*) as indicated on the approved drawings.

o) The facade of the building shall be constructed in local stone, except where other materials, finishes and colours are indicated on the approved plans and drawings.

p) Apertures and balconies shall not be constructed of gold, silver or bronze aluminium.

q) A water cistern with a volume in cubic metres of 30% of the total roof area (in square metres) of the building(s) shall be constructed to store rainwater run-off from the built-up area of the development. This cistern shall be completed and available for use prior to the development hereby permitted being first brought into use.

r) The development hereby permitted shall not be brought into use until the Final Compliance (Completion) Certificate, certifying that the development has been carried out in full accordance with the plans approved by this permission and with the other conditions imposed in this permission, has been issued by the Malta Environment & Planning Authority.

s) The permit is issued on condition that, where applicable, any excavation shall be subject to the requirements of the Civil Code regarding neighbouring tenements.

t) Where applicable, the development, hereby permitted, shall be carried out in accordance with the provisions of the Environmental Management Construction Site Regulations, LN 295 of 2007.

u) This permission relates only to the additions and alterations specifically indicated on the approved drawings. This permission does not sanction any illegal development that may exist on the site.

12

Prior to the issue of the planning permission, a Bank Guarantee of EUR 1,439.63 shall be imposed to ensure that the street is properly restored in accordance with the Environmental Management Construction Site Regulations, LN 295 of 2007, together with the submission of a pre-construction condition report of the street including photographs (as defined in the same legal notice). The bank guarantee shall only be released after the architect submits a post-construction condition report together with photographs evidencing compliance with this condition which is hereby being approved accompanied by clearance from the Local Council. This guarantee shall be forfeited after 3 months from the date of notification by the Authority of a notice to effect the remedial works covered by the same guarantee. Its forfeiture would not, however, preclude the applicant from adhering to all the conditions contained in this development permission.

Bank Guarantee calculation

**For construction works involving demolition and/or excavation works and additional floors:**

Length of frontage (10.9 metres) plus twenty metres multiplied by EUR 46.59

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This report to the Development Control Commission has been prepared and checked by:

Case Officer:

Checked By:

Signature:

Signature:

Date:

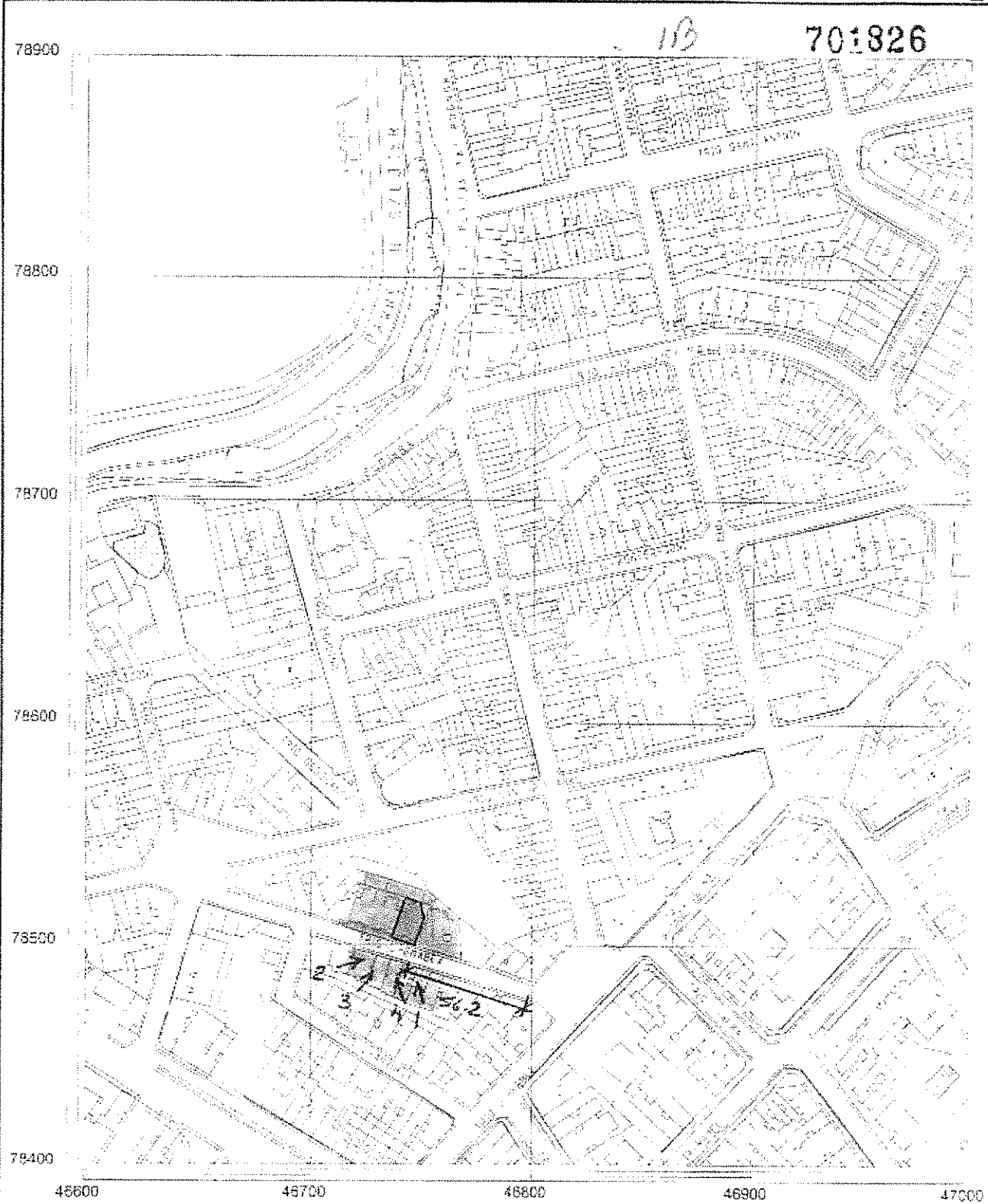
Date:

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**Development Control Commission Decision:**

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[PARepEndorsed]



**PLANNING AUTHORITY**  
Mapping Unit Site Plan, Scale 1:2500

St. Francis Ravelin  
Floriana  
PO Box 200, Valletta  
Tel: 240976 Fax: 224846



Part of Survey Sheet(s): 465780 465785 470780 470785

*of Paul S. Bay*

Date Issued:- 12/6/01

- The numbered lines indicate 100m intervals on a U.T.M. grid

- This site plan is not to be used for interpretation or scaling of scheme alignments

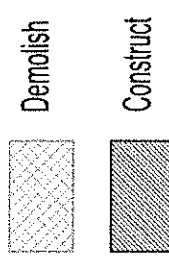
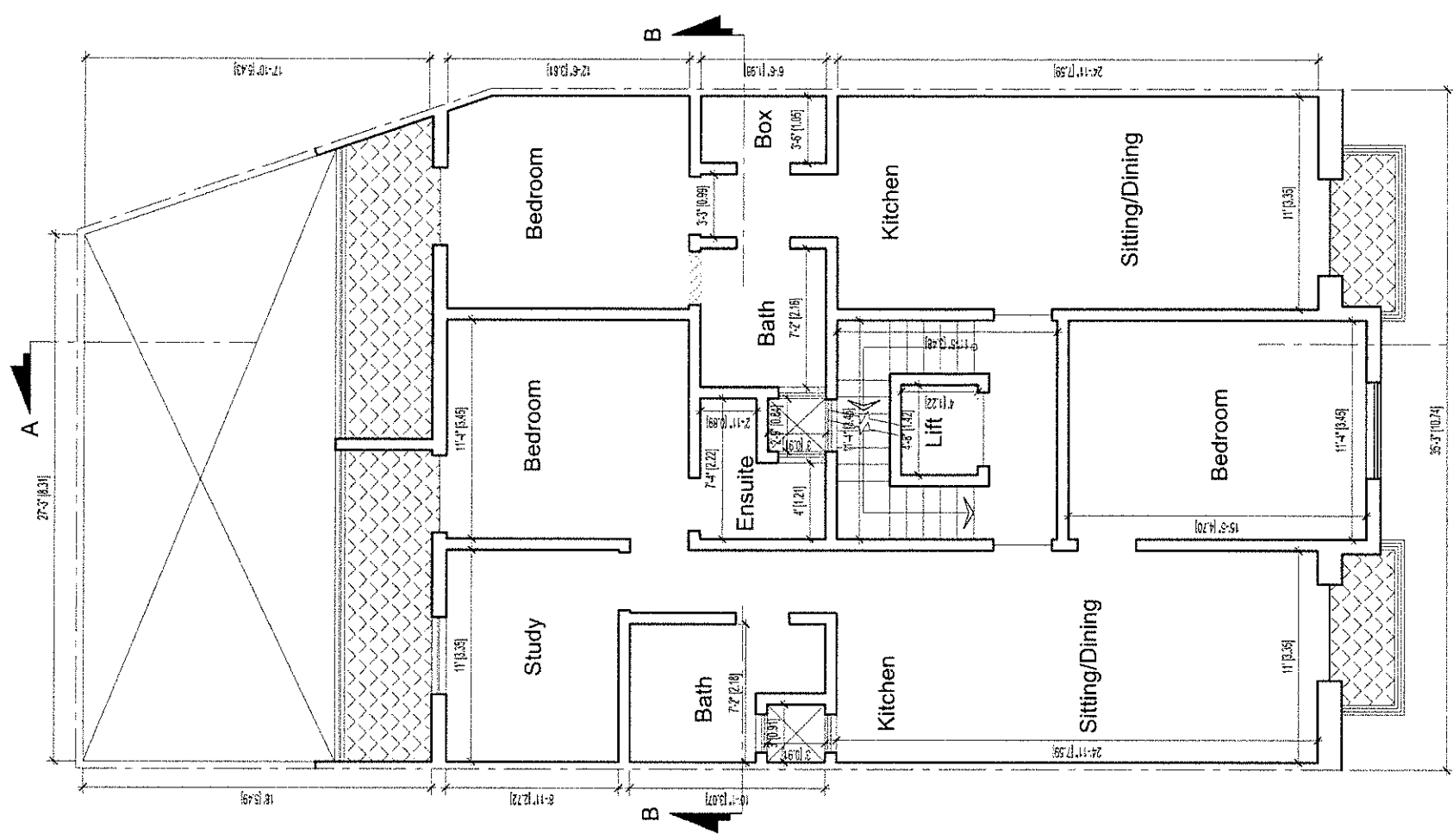
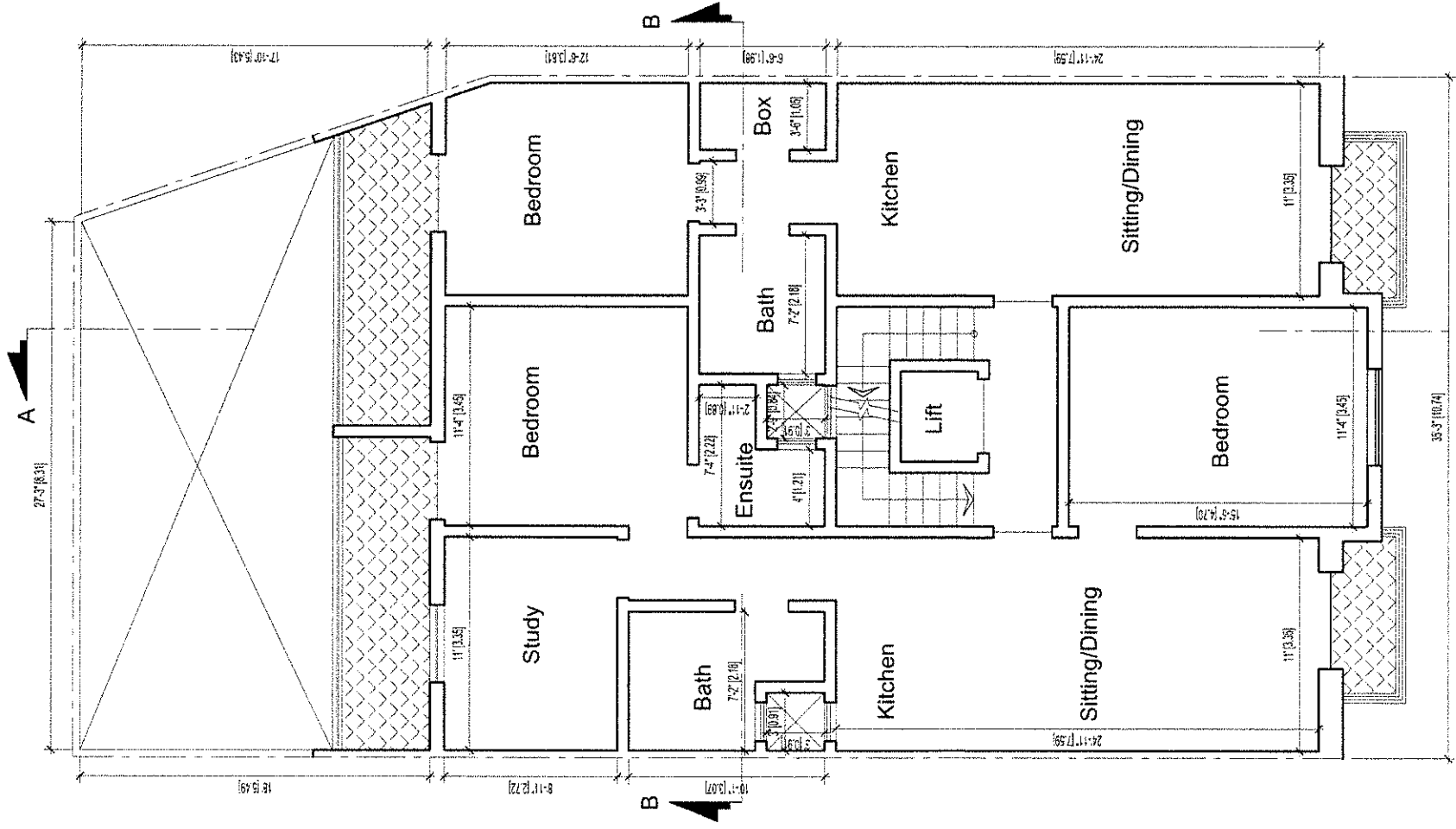
- Users noting additions or corrections to this map are kindly requested to inform the Mapping Unit

**DAVID PSAILA B.E. & A. (Hons.) A. & C.E.**  
**ARCHITECT & CIVIL ENGINEER**  
Office: D. Peak, Balzan Valley, Balzan.  
Tel: 2141 2000 Fax: 2141 2001 Mob: 9941 5847  
Email: dpeak@mtanet.net

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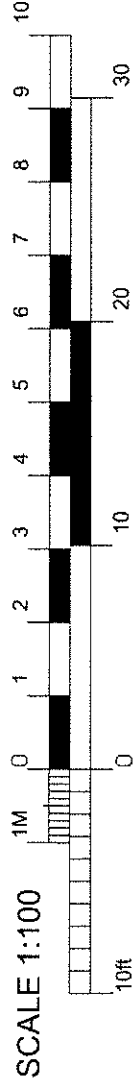
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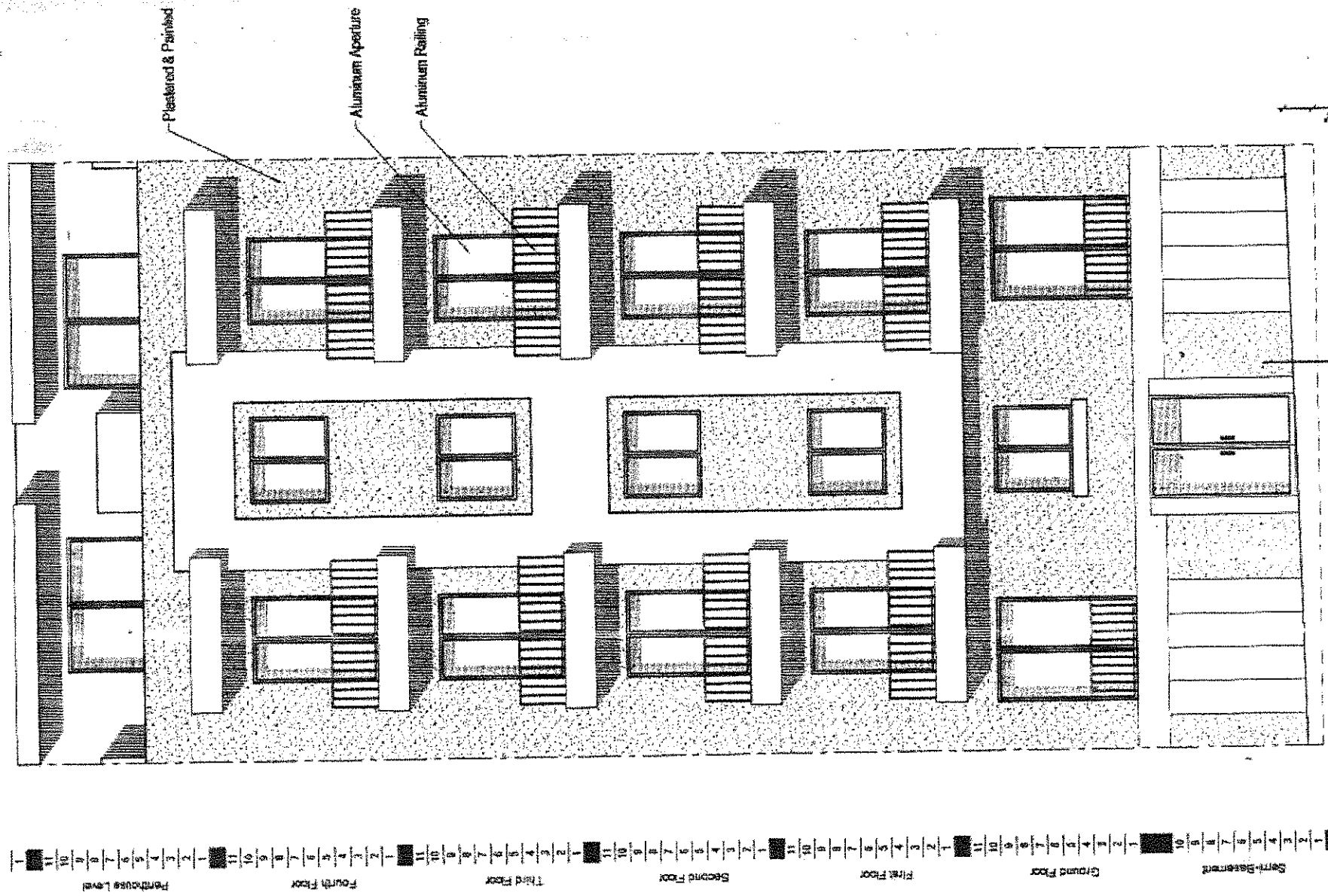
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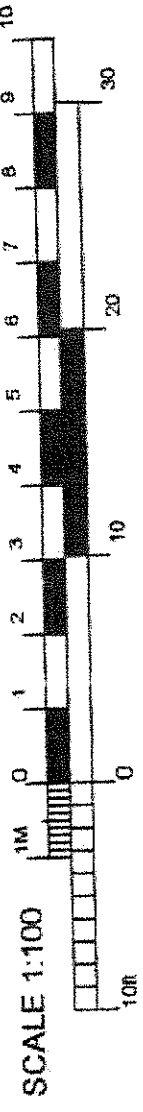
**DAVID PSAILA** BESA, A&CE  
**ARCHITECT & CIVIL ENGINEER**  
 D.PEAK, Balzan Valley, Balzan.  
 Tel: 21412908 - Fax: 21470870 - Mobile: 9949 5847

Client: Mr. Maunzio Cavallaro  
 Job: Third Floor Level Plans  
 Scale: 1:100  
 Date: 29.12.2010  
 File No: 182-09  
 Dwg. No: 004  
 Rev: 00





Front Elevation  
SCALE 1:100



**DAVID PSAILA BESA, ARCE**  
**ARCHITECT & CIVIL ENGINEER**  
 D.PEAK, Balzan Valley, Belcan.  
 Tel: 21412908 - Fax: 21470870 - Mobile: 9949 0847

Client: Mr. Maurizio Cavallaro

Job: Front Elevation

Date: 25.01.2010

Scale: 1:100

File No.: 182-09

Dok. N. 4

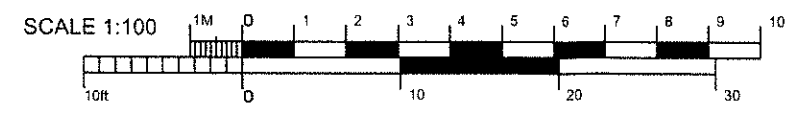




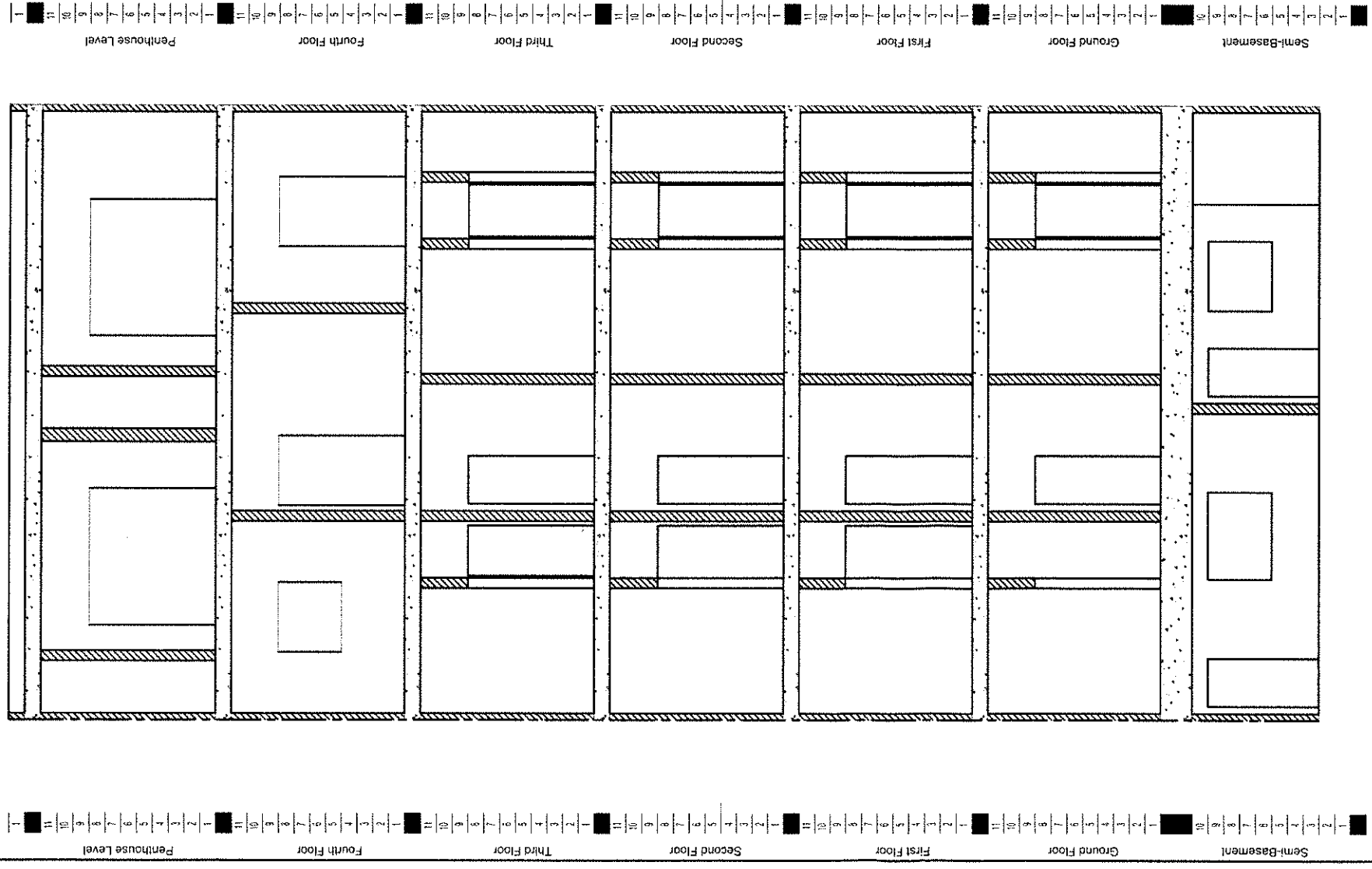
Approved Section AA (PA 00337/10)  
SCALE 1:100



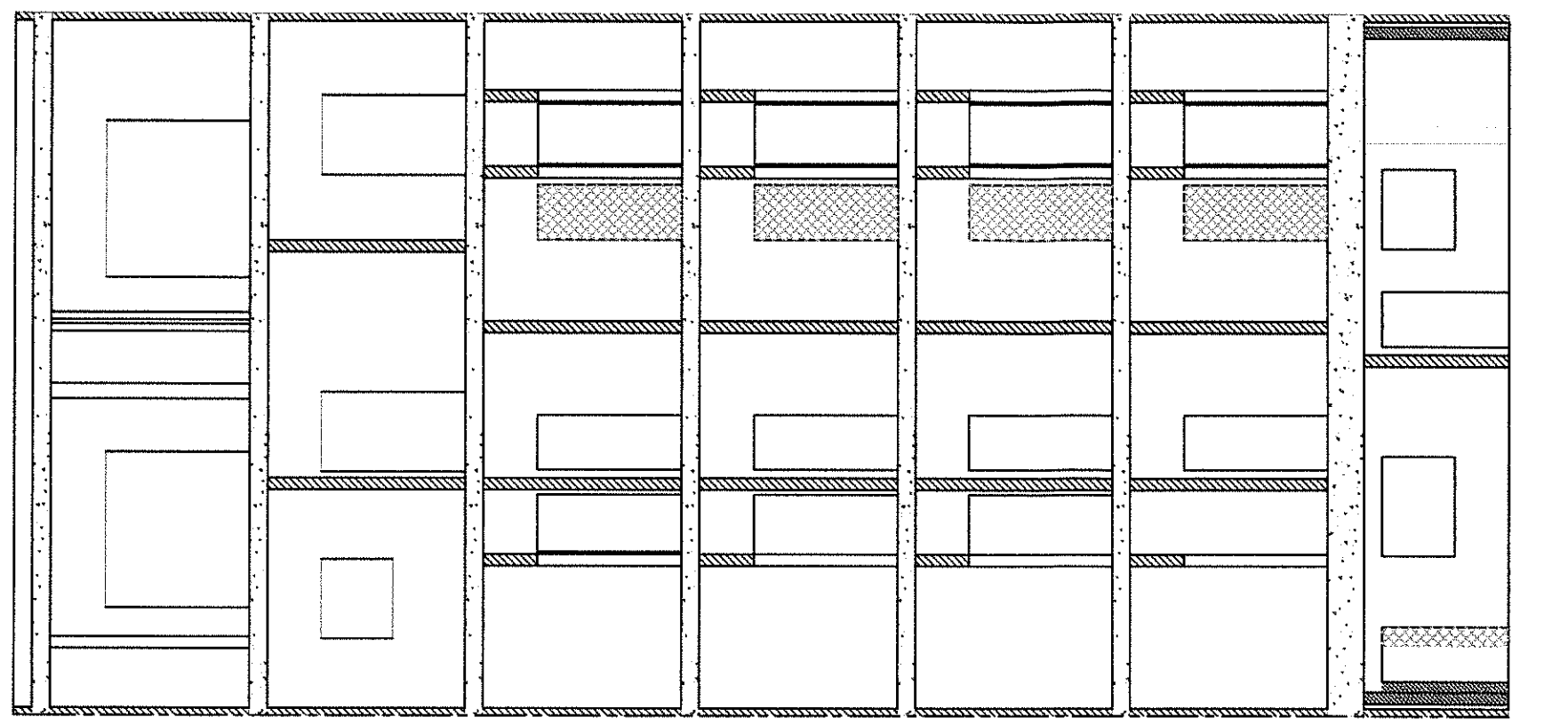
Proposed Section AA



<b>DAVID PSAILA</b> BESA, A&CE ARCHITECT & CIVIL ENGINEER			
D.PEAK, Balzan Valley, Balzan. Tel: 21412908 - Fax: 21470870 - Mobile: 9949 5847			
Client: Mr. Maurizio Cavallaro			
Job: Section A-A			
Scale: 1:100	Date: 23.12.2010	Rev. No: 02-09	Draw. No: 010



Approved Section BB (PA 00337/10)  
SCALE 1:100

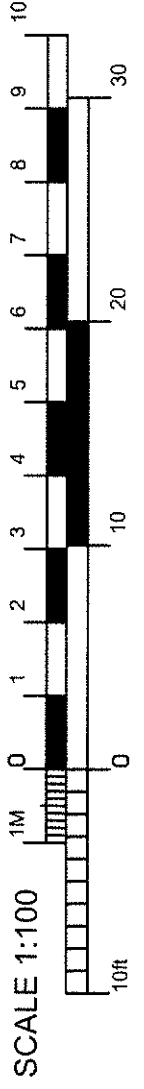


Proposed Section BB  
SCALE 1:100

Demolish  
Construct

**DAVID PSAILA** BE&A, A&CE  
**ARCHITECT & CIVIL ENGINEER**  
 D. PEAK, Balzan Valley, Balzan.  
 Tel: 21412908 - Fax: 21470870 - Mobile: 9949 5847

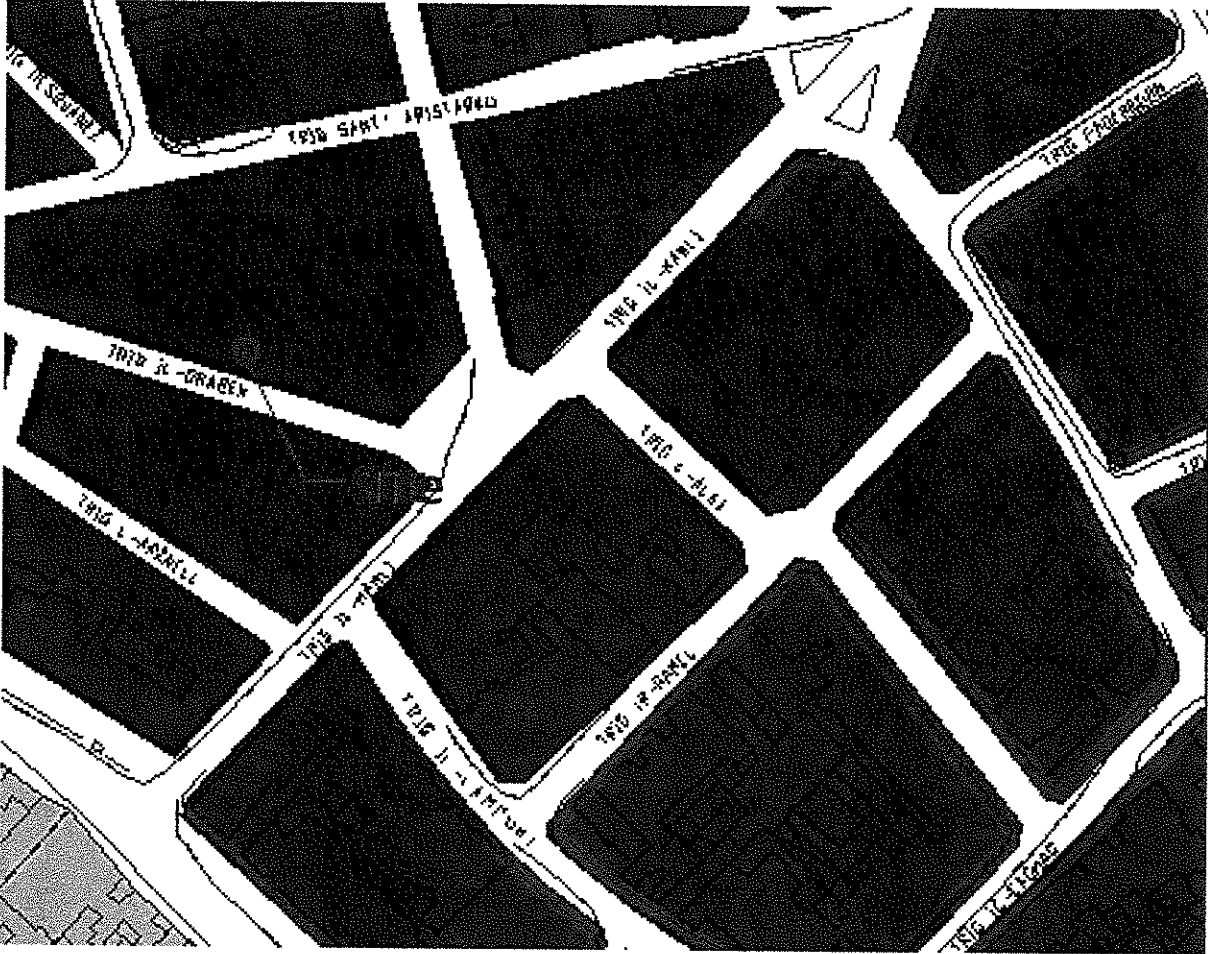
Client: Mr. Maurizio Cavallaro  
 Job: Section B-B  
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 Date: 29.12.2010  
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 Dwg. No: 006  
 Rev: 00



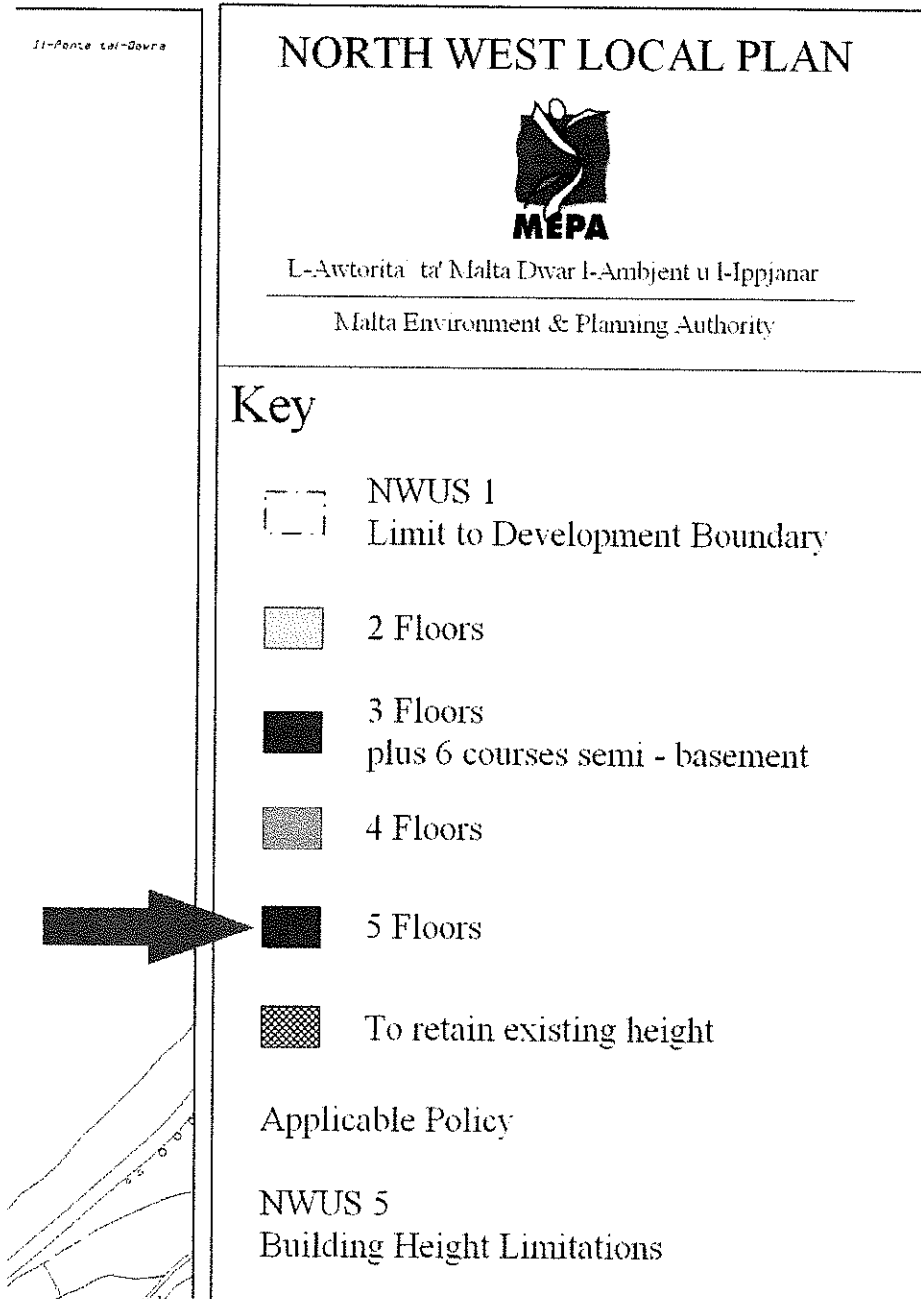


**QORTI CIVILI TA' MALTA**

Subbasta nru. 1/19



**Fig. O-B02 – Estratt Local Plan – dettall**



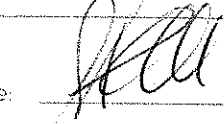
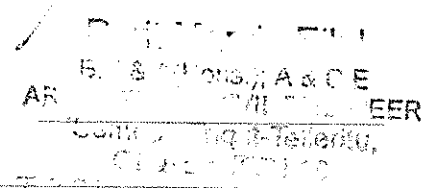
**Fig. O-B03 – Estratt Local Plan – dettal tal-gholi tal-bini**



PHYSICAL ATTRIBUTES OF IMMOVABLE PROPERTY	
Locality	Naxxar
Address	25, Triq Castro, Naxxar.
Total Footprint of Area Transferred*	333.8 sq.m.

TICK WHERE APPLICABLE (Tick one box in each case except where indicated otherwise)				
Type of Property	<input type="checkbox"/> Villa	<input type="checkbox"/> Semi-Detached	<input type="checkbox"/> Bungalow	<input type="checkbox"/> Flat/Apartment
	<input type="checkbox"/> Penthouse	<input type="checkbox"/> Mezzanine	<input type="checkbox"/> Maisonette	<input checked="" type="checkbox"/> Farmhouse
	<input type="checkbox"/> Terraced House	<input type="checkbox"/> Ground Floor Tenement	<input type="checkbox"/> Townhouse	
Age of Premises	<input type="checkbox"/> 0-20 years	<input checked="" type="checkbox"/> Over 20 years	<input type="checkbox"/> Pre WWII	
Surroundings	<input type="checkbox"/> Sea View	<input type="checkbox"/> Country View	<input checked="" type="checkbox"/> Urban	
Environment	<input checked="" type="checkbox"/> Quiet	<input type="checkbox"/> Traffic	<input type="checkbox"/> Entertainment	<input type="checkbox"/> Industrial
State of Construction	<input type="checkbox"/> Shell	<input type="checkbox"/> Semi-Finished**	<input checked="" type="checkbox"/> Finished***	
Level of Finishes	<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Adequate	<input type="checkbox"/> Poor	<input type="checkbox"/> N/A
Amenities <small>Tick as many as appropriate</small>	<input type="checkbox"/> With Garden	<input type="checkbox"/> With Pool	<input type="checkbox"/> With Lift	<input checked="" type="checkbox"/> With Basement
	<input type="checkbox"/> No Garage	<input type="checkbox"/> One car Garage	<input type="checkbox"/> Two Car Garage	<input checked="" type="checkbox"/> Multi Car Garage
Airspace	<input checked="" type="checkbox"/> Ownership of Roof	<input type="checkbox"/> No Ownership of Roof	<input type="checkbox"/> Shared Ownership	

\* Includes all lands and gardens but excludes additional floors, roofs and washrooms  
 \*\* Includes \*\* plus bathrooms and apertures  
 \*\*\* Includes plastering, electricity, plumbing and floor tiles

Date: <u>17th July 2023</u>	Perit's Signature: 
Warrant Number: <u>402</u>	Rubber Stamp: 

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www.cfr.gov.mt



# EIGHTH SCHEDULE

PHYSICAL ATTRIBUTES OF IMMOVABLE PROPERTY	
Locality	San Pawl il-Bahar
Address	Apt. 6, 'Pryisma Apartments', Triq il-Ghabex, San Pawl il-Bahar.
Total Footprint of Area Transferred*	79 sq.m.

TICK WHERE APPLICABLE (Tick one box in each case except where indicated otherwise)				
Type of Property	<input type="checkbox"/> Villa	<input type="checkbox"/> Semi-Detached	<input type="checkbox"/> Bungalow	<input checked="" type="checkbox"/> Flat/Apartment
	<input type="checkbox"/> Penthouse	<input type="checkbox"/> Mezzanine	<input type="checkbox"/> Maisonette	<input type="checkbox"/> Farmhouse
	<input type="checkbox"/> Terraced House	<input type="checkbox"/> Ground Floor Tenement	<input type="checkbox"/> Townhouse	
Age of Premises	<input checked="" type="checkbox"/> 0-20 years	<input type="checkbox"/> Over 20 years	<input type="checkbox"/> Pre WWII	
Surroundings	<input type="checkbox"/> Sea View	<input type="checkbox"/> Country View	<input checked="" type="checkbox"/> Urban	
Environment	<input checked="" type="checkbox"/> Quiet	<input type="checkbox"/> Traffic	<input type="checkbox"/> Entertainment	<input type="checkbox"/> Industrial
State of Construction	<input type="checkbox"/> Shell	<input type="checkbox"/> Semi-Finished**	<input checked="" type="checkbox"/> Finished***	
Level of Finishes	<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Adequate	<input type="checkbox"/> Poor	<input type="checkbox"/> N/A
Amenities <small>Tick as many as appropriate</small>	<input type="checkbox"/> With Garden	<input type="checkbox"/> With Pool	<input checked="" type="checkbox"/> With Lift	<input type="checkbox"/> With Basement
	<input type="checkbox"/> No Garage	<input type="checkbox"/> One car Garage	<input type="checkbox"/> Two Car Garage	<input type="checkbox"/> Multi Car Garage
Airspace	<input type="checkbox"/> Ownership of Roof	<input checked="" type="checkbox"/> No Ownership of Roof	<input type="checkbox"/> Shared Ownership	

\* Includes all lands and gardens but excludes additional floors, roofs and washrooms

\*\*\* Includes \*\* plus bathrooms and apertures

\*\* Includes plastering, electricity, plumbing and floor tiles

Date: <u>17th July 2023</u>	Perit's Signature:
Warrant Number: <u>402</u>	Rubber Stamp:

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## Fil-Prim Awla Qorti Civili



### Fl-Atti tas-Subbasta Nru Subbasta 1/2019 fl-ismijiet

BNF Bank p.l.c.  
C 41030  
Vs  
Eve Farrugia  
502475M

### Nota 1 –Talba ghal-Hlas Ta’ Hin Addizzjonali

L-espert Perit Tekniku qied jghamel talba ghal hlas fuq hin addizzjononali li hu ghamel sabiex iwettaq l-accessi fil-propjetajiet minnu mitluba.

Il-hin addizzjonali huwa ta’ siegha hekk kif qed jigi indikat hawn taht.

Hekk kif indikat ukoll fit-traskrizzjoni tal-verbal tar-raba’ access dok. C-4, l-accessi bdew fid-9:00 ta’ filghodu u ntemmu f’nofsinhar. Ghalhekk il-hin totali kien ta’ 3 sieghat. Ghaldaqstant Il-Perit Tekniku qied jghamel din it-talba sabiex jithallas siegha addizzjonali apparti l-hlas taz-zewg accessi li saru nhar It-Tlieta, 28 ta’ Marzu, 2023.

**PERIT MARVIN ELLUL**

Perit Tekniku (Warrant No. 402)  
2, Norton Mansions,  
Triq Ta’ L-Iklin, Hal-Ghaxaq.  
Data: 2/8/2023

Il-lum 01 to Awwissu, 23

Ippreżentata mill- Perit Marvin Ellul

B’/Bla dok \_\_\_\_\_ / \_\_\_\_\_ dokumenti

Geoffrey Aquilina  
Magistrate  
Registrar  
Magistrate  
Law Courts (Malta)